



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

05/21/2019
 04/19/2019
 06/13/2018
 05/03/2018





CODE AND PLANNING INFORMATION

PARCEL ADDRESS: 130 WEST HUNTINGTON DRIVE,
ARCADIA 91007

PARCEL AIN NO.: 5775-024-015 (Salvation Army Parcel)
5775-024-018 (Main Parcel)

EXISTING USE: DOWNTOWN MIXED USE

PROPOSED USE: DOWNTOWN MIXED USE
HOTEL / RESIDENTIAL / RETAIL

APPLICABLE BUILDING CODES

BUILDING:
2016 CALIFORNIA BUILDING CODE (CBC)
ELECTRICAL:
2016 CALIFORNIA ELECTRICAL CODE (CEC)
MECHANICAL:
2016 CALIFORNIA MECHANICAL CODE (CMC)
PLUMBING:
2016 CALIFORNIA PLUMBING CODE (CPC)
ACCESSIBILITY:
MORE STRINGENT OF CALIFORNIA BUILDING CODE OR
APPLICABLE FEDERAL LAW
ENERGY:
2016 CALIFORNIA FIRE CODE (CFC) AND LOCAL
ORDINANCE

LIST OF PROFESSIONALS

CLIENT:
SAICP LLC
41 WHEELER AVE. STE #661329,
ARCADIA, CA 91066
ARCHITECT:
ARCHITECTS ORANGE
144 N ORANGE STREET, ORANGE, CA 92866
SURVEYOR:
TRITECH ASSOCIATED, INC
SUBDIVISION SURVEY ENGINEERING DESIGN
135 NORTH SAN GABRIEL BOULEVARD,
SAN GABRIEL, CA 91775
CIVIL:
STANTEC
38 TECHNOLOGY DRIVE
IRVINE, CA 92618
LANDSCAPE:
ARCHITECTS ORANGE
144 N ORANGE STREET, ORANGE, CA 92866
ENVIRONMENTAL:
LSA ASSOCIATES, INC.
1500 IOWA AVENUE, SUITE 200,
RIVERSIDE, CA 92507

PROJECT SUMMARY

THE PROPOSED WORK ARE PHASES I AND II OF THE FORMER SANTA ANITA INN SITE LOCATED IN ARCADIA, CALIFORNIA. THE NORTHEAST HALF OF THE PROPERTY WILL BE THE CONSTRUCTION OF A FOUR-STAR LE MERIDIEN HOTEL BY MARRIOTT. PHASE II WILL BE A MIXED USE DEVELOPMENT CONSISTING OF GROUND FLOOR RETAIL, LUXURY RESIDENTIAL AND PODIUM PARKING.

PHASE 1 AND PHASE 2 TOTAL SITE AREA AND FLOOR AREA RATIO:

SITE AREA: 6.117 ACRES
FAR: MAX FAR 1.0

PHASE 1

LE MERIDIEN HOTEL BY MARRIOTT
BUILDING AREA 171,524 SF
PUBLIC AREAS 25,011 SF
233 GUESTROOMS 121,293 SF
BACK OF HOUSE 25,220 SF
PARKING PROVIDED 233 PARKING

PHASE 2

MIXED USE RESIDENTIAL
BUILDING AREA 176,581 SF
RETAIL/COMMERCIAL 6,640 SF
SPA 3,960 SF
RESIDENTIAL (96 UNITS) 145,963 SF
RESIDENTIAL LOBBY AND AMENITIES 20,018 SF

PHASE 1 AND PHASE 2 REQUIRED PARKING

RETAIL/COMMERCIAL (5/1000SF) 34
HOTEL (1/GUESTROOM) 233
96 RESIDENTIAL UNITS (2/UNIT +1/3UNITS) 224
TOTAL REQUIRED PARKING 491

PARKING PROVIDED

HOTEL STANDARD PARKING 81
HOTEL VALET PARKING 152
ON GRADE RESIDENTIAL STRUCTURE PARKING 122
BASEMENT RESIDENTIAL STRUCTURE PARKING 102
RETAIL PARKING 34
TOTAL PROVIDED PARKING 491

CLEAN AIR VEHICLE & ELECTRICAL VEHICLE PROVIDED

	CAV	EVSE
RESIDENTIAL	18	14
HOTEL	19	14
RETAIL	3	2

SHEET INDEX

2	SPECIFIC PLAN
10	SITE PHOTOS
11	VICINITY MAP & SITE MAP
12	SITE SURVEY
13	EXISTING SITE PLAN
14	PRELIMINARY GRADING PLAN
19	OVERALL SITE PLAN
	PHASE 1 - HOTEL
20	SITE PLAN & PROJECT SUMMARY
21	FIRE TRUCK ACCESS ROUTE
22	GROUND FLOOR PLAN
23	MEZZANINE FLOOR PLAN
24	FLOOR PLANS
27	ROOF PLAN
28	ELEVATIONS
30	SECTIONS
32	RENDERING
33	COLOR & MATERIAL BOARD
	PHASE 2 - MIXED USE RESIDENTIAL
34	SITE PLAN & PROJECT SUMMARY
35	FIRE TRUCK ACCESS ROUTE
36	FLOOR PLANS
39	ELEVATIONS
41	SECTIONS
42	RENDERING
43	COLOR & MATERIAL BOARD
	LANDSCAPE
44	LANDSCAPE TREE SURVEY
45	PHASE 1 LANDSCAPE PLAN
47	PHASE 2 LANDSCAPE PLAN
51	VEHICULAR VISIBILITY EXHIBIT



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



Seabiscuit Pacifica Specific Plan
130 W. Huntington Dr., Arcadia, CA 91007
SECTION 1.0 INTRODUCTION

1.1 Purpose and Authority

A Specific Plan is a legislative tool that implements the General Plan by combining zoning requirements and development regulations that are tailored to a specific property. A Specific Plan is commonly used for a large site, a site where many individual properties have been assembled, or a site that requires special attention in terms of land use or development characteristics. The Seabiscuit Pacifica site requires special attention due to its limited size but unique location and ability to economically support Santa Anita Park, the current downtown revitalization community district, and the City of Arcadia (see Section 2 for site and project details). More specifically, it is the phasing of the project into two phases that has raised questions, which the Specific Plan looks to address. Phase 1 will consist of a new Marriott full service Hotel. Phase 2 will consist of developing the rest of the site into an 8-story residential mixed-use project.

The purpose of the Seabiscuit Pacifica Specific Plan is to define the range of permitted uses, development regulations and design guidelines for the development of the project site. Implementation of the Specific Plan will accomplish the following objectives:

- Provide high quality development consistent with the City's General Plan and in conformance with municipal standards, codes, and policies;
- Provide uses that will compliment and support the Santa Anita Park race track, other important regional facilities in the City, and the adjacent Downtown area;
- Design the development to minimize the potential for environmental impacts;
- Augment the City's economic base by increasing tax-generating commercial uses within the City; and
- Create employment-generating opportunities for the citizens of the City and surrounding communities.

1.2 Document Approval

The Seabiscuit Pacifica Specific Plan has been prepared pursuant to the provisions of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, and Sections 65450 through 65457. The California Government Code authorizes jurisdictions to adopt Specific Plans by resolution as policy documents or by ordinance as regulatory documents. This Specific Plan is being adopted by Ordinance. The law allows preparation of Specific Plans as may be required for the implementation of the General Plan and further allows for their review and adoption.

1.3 Relationship of the Specific Plan to the General Plan, Zoning, and Other Ordinances

Specific Plans must be consistent with the goals and policies of the adopted General Plans of local jurisdictions (California Code Section 65454). The Seabiscuit Pacifica Specific Plan implements the goals and policies of the City of Arcadia General Plan within the Specific Plan area. The goals and objectives found in the Land Use Element support the City's desire to continue to create a future in which the economy and environment of the City is preserved and enhanced by new development. Section 2.3 provides a specific analysis of the Specific Plan relative to the City General Plan land use and zoning designations. Appendix B, the General Plan Consistency Analysis, demonstrates how the Seabiscuit Pacifica Specific Plan implements applicable goals and objectives of the City of Arcadia's General Plan. Various land use goals that support a viable economic future direction for the City.

This Specific Plan acts as a bridge between the General Plan and individual development proposals. It combines development standards and guidelines into a single document that is tailored to meet the development needs of this specific site. The City of Arcadia's General Plan indicates that a Specific Plan is required for large parcels that may have development characteristics that are not addressed in the City's General Plan or Zoning. While the Specific Plan site is not very large (6.117 acres), it does represent a unique property in relation to the Santa Anita Park race track, and so City staff has supported preparation of a Specific Plan for the hotel project application by Seabiscuit Pacifica, LLC on this site.

The Seabiscuit Pacifica Specific Plan is developed within the overall framework of the City's Zoning Ordinance, but provides separate development standards and guidelines that are customized to the Specific Plan site. The City's zoning standards are utilized for certain aspects of development, such as parking and landscaping, while the Specific Plan provides other standards that are tailored to the unique location and opportunities of the Seabiscuit Pacifica Specific Plan site. Future discretionary approvals for this site will be subject to the review procedures, findings and provisions of the Seabiscuit Pacifica Specific Plan and the City of Arcadia Zoning Ordinance. Related and/or subsequent approvals, such as Specific Plan amendments or architectural design review as deemed necessary by the Development Services Director or designee, must be consistent with both the guidelines of the Seabiscuit Pacifica Specific Plan and the City's Zoning Ordinance. Where development regulations in this Specific Plan differ from those established in the City's Code, the provisions of the Seabiscuit Pacifica Specific Plan shall prevail. Where this Specific Plan is silent on a development regulation, the City of Arcadia' Code shall prevail.

Section 2.3 and Appendix B provide a more detailed analysis of the Specific Plan's consistency with the General Plan policies and objectives. Although the proposed Seabiscuit Pacifica project is consistent with the City's General Plan and zoning (see Section 2.3), a Specific Plan was prepared to address the following project characteristics: (a) development phasing; (b) the development agreement; and (c) the overall appearance of all buildings within the project.



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



SPECIFIC PLAN

1.4 Relationship to the California Environmental Quality Act

Adoption or amendment of a Specific Plan constitutes a project under the California Environmental Quality Act (CEQA). A Mitigated Negative Declaration (MND) has been prepared in accordance with the CEQA Guidelines (CCR, Title 14, Division 6, Chapter 3 Section 15000-15387), and State CEQA Guidelines Sections 15070 through 15075 in particular, to analyze the environmental impacts of the Seabiscuit Pacifica Specific Plan. The MND establishes the existing, onsite environmental conditions and evaluates the potential impacts of this Specific Plan. The MND references project design features and includes various mitigation measures that will be implemented through either the Mitigation Monitoring and Reporting Program or Conditions of Approval (refer to Appendix A).

1.5 Required Entitlements

The discretionary actions to be considered by the City as part of the proposed Seabiscuit Pacifica Specific Plan include approval of the following:

- Lot Line Adjustment
- Tract Map
- Seabiscuit Pacifica Specific Plan No. SP--SP with a height overlay of H-8
- The general land use designation is Downtown Mixed Use
- Zone Change No. ZC 13-02 (SP-SP) and Amendment to the Zoning Map (Ordinance No. 2355 and Resolution No. 7223)
- Mitigated Negative Declaration in compliance with CEQA (City Council Resolution No. 7013);
- Conceptual Review of the overall project site plan and visual renderings;
- Design Review of the Site Plan and Building Elevations for Phase 1; and
- Design Review of the Site Plan and Building Elevations for Phase 2.

Other non-discretionary actions anticipated to be taken by the City at the Staff level as part of the proposed project include:

- Approval of a Storm Water Pollution Prevention Plan (SWPPP) to mitigate site runoff during construction (i.e., over the short-term) and a Standard Urban Stormwater Management Plan (SUSMP) to mitigate for post-construction runoff flows (i.e., over the long-term during project occupancy and operation).
- Review of landscaping/irrigation plans.
- Certificate of Demolition
- Building permit. The comprehensive building permit includes building permit, plumbing, mechanical, and electrical permits.
- Grading permit
- Sewer connection permit

Development of the proposed Seabiscuit Pacifica project may require the following permits and/or approvals from other responsible agencies:

- A National Pollutant Discharge Elimination System permit from the Regional Water Quality Control Board -Los Angeles Region to ensure that construction site drainage velocities are equal to or less than the pre-construction conditions and downstream water quality is not harmed.

2.0 LAND USE PLAN

2.1 Location

The project site currently consists of two parcels and a total site area of approximately 6.117 acres located just east of the Santa Anita Park race track, just south of Huntington Drive, and just east of West Huntington Drive in the City of Arcadia. The site is depicted on the United States Geological Survey (USGS) Mt. Wilson, California 7.5-minute topographic quadrangle in Township 1 North, Range 11 West (no sections indicated), with a latitude of 34° 8' 21.7" North and a longitude of 118° 2' 77" West. The parcel is bounded by Colorado Place/Huntington Drive to the north, the Arcadia City Hall complex to the south, East Huntington Drive to the east, and West Huntington Drive to the west. The project location is illustrated in Figures A-0.2 and A-0.3. The legal description is included in Appendix C. The project site consists of Assessor's Parcel Number's 5775-024-015 and 5775-024-018. The precise description of the parcels is included as Appendix C.

2.2 Environmental Setting

The proposed project site gently slopes to the south at a gradient of 2.4 percent with elevations ranging from 473 feet above mean sea level (amsl) at the north corner sloping down to 466 feet amsl at the south corner. Onsite elevations are shown in Figure A-0.4. The site is fully developed with the Santa Anita Inn hotel that has occupied this property since 1955. The site has several improved access roads around its perimeter, including Colorado Place/Huntington Drive to the north, East Huntington Drive to the east, and West Huntington Drive to the west.

The project site is in an urbanized area and is surrounded by developed uses. Directly west of the project site are the Santa Anita Park race track, the Arboretum of Los Angeles County is further west, and a regional mall, Westfield Mall Santa Anita, is to the west of the racetrack. North of the project site are offices along Colorado Place and Huntington Drive, and a bank along Huntington Drive. North of these commercial and office uses are existing residential neighborhoods. An individual house used by the Salvation Army as a rehabilitation facility is located adjacent to the west of the site, containing 11,887 sf, has been incorporated into the site. To the east of the project site is the Arcadia County Park. South of the proposed site are the Civic Center Athletic Field Recreational Area and the City Hall complex. Farther southwest are the Methodist Hospital, Quest Diagnostics Medical Lab, and Medical Library.

There are no surface drainage courses on the project site, but the East Branch Arcadia Wash is located approximately 227 feet west of the site and the Arcadia Wash is located approximately 2,000 feet west of the site. The previous Figure A-0.2 shows the location of the project site and surrounding land uses.

2.3 General Plan Land Use and Zoning Constraints

According to the Arcadia General Plan, the project site is designated for commercial uses. The City's General Plan Land Use Designation Map shows the land uses of the project site and the surrounding properties, as shown on Table 2A.

The City's General Plan says the following about the Downtown Mixed Use land use designation...



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

05/21/2019
04/19/2019
06/13/2018
05/03/2018



SPECIFIC PLAN

The Downtown Mixed Use zone is intended to provide opportunities for complimentary service and retail commercial businesses, professional offices, and residential uses located within the City's downtown. A wide range of commercial and residential uses are appropriate, oriented towards pedestrians to encourage shared use of parking, public open space, and interaction of uses within the zone. Mixed use requires the inclusion of a ground-floor, street frontage commercial components for all projects. Exclusive residential structures are not allowed. This zone implements the General Plan Downtown Mixed-Use designation. Maximum FAR allowed in Downtown Mixed Use is 1.0

The description of allowed uses lists hotels and motels that require the approval of a Conditional Use Permit subject to requirements of Section 9107.09.09 use of the Development Code Section 9220.29 of the City's Municipal Code (zoning) defines "Hotel is a building in which there are six or more guest rooms where lodging with or without meals is provided for compensation as the more or less temporary abiding place of individuals and where no provision is made for cooking in any individual room or suite." All of the hotel rooms meet this definition. They will also be subject to TOT tax like a typical hotel. Therefore, the hotel in the Seabiscuit Pacifica project are consistent with the allowable uses under the General Plan under the Downtown Mixed-Use land use designation, therefore, the Seabiscuit Pacifica Specific Plan does not require a General Plan Amendment.

The City's zoning map indicates the site is zoned Downtown Mixed Use which allows hotels and residential mixed-use with a Conditional Use Permit (CUP). Approval of the Specific Plan by the City Council would allow the hotel and residential mixed use by right and eliminate the need for a CUP consistent with state law for charter cities.

The total building area of the Seabiscuit Pacifica Specific Plan indicates the project FAR is 1.0 (see Table 2.B). However, approval of the Specific Plan amendment by the City Council will constitute acceptance by the City that the proposed Seabiscuit Pacifica Specific Plan is generally consistent with the General Plan, and that any modification to the building development characteristics shown in this Specific Plan will require City Council approval of a Specific Plan Amendment.

Finally, the City's zoning map indicates the site has a Height Overlay (H-8) which allows buildings up to 95 feet, as shown below from the City's Municipal Code Section 9102.11.040:

9102.11.040 - HEIGHT OVERLAY

Any structure in Zone H may, by complying with the provisions of this section, exceed the height limitation applicable to the underlying zone in which it is located; provided, however, that no structure shall in any event exceed the following height limits:

- a. Zone H4 – 45 feet
- b. Zone H5 – 55 feet
- c. Zone H6 – 65 feet
- d. Zone H7 – 75 feet
- e. Zone H8 – 95 feet.

The tallest building in the proposed Seabiscuit Pacifica project is the condominium building at approximately 95 feet with 8 stories of occupied space. With the architectural roof projection, the hotel condo building will stand 95 feet to the top of the primary roof deck. The Seabiscuit Pacifica Specific Plan will be within requirements of the H-8 Height Overlay.

2.4 Specific Plan Contents

The Seabiscuit Pacifica Specific Plan includes the site plan, floor plans, and elevations for the project buildings, as well as the accompanying renderings and site information, and the Conditions of Approval. The Specific Plan also includes the planned building heights, setbacks from West Huntington Drive, East Huntington Drive, Colorado Place, and existing uses to the south. The site plan and associated Initial Study provide information on environmental conditions of the site and potential environmental effects of the project, including traffic, air quality, noise, drainage, utilities, and municipal services. Once approved, the Seabiscuit Pacifica Specific Plan will be shown on the City's official zoning map as SP-SP.

The following graphical materials are hereby incorporated into the Specific Plan and presented at the end of this section:

- 2 SPECIFIC PLAN
- 10 SITE PHOTOS
- 11 VICINITY MAP & SITE MAP
- 12 SITE SURVEY
- 13 EXISTING SITE PLAN
- 14 PRELIMINARY GRADING PLAN
- 19 OVERALL SITE PLAN
- PHASE 1 - HOTEL
- 20 SITE PLAN & PROJECT SUMMARY
- 21 FIRE TRUCK ACCESS ROUTE
- 22 GROUND FLOOR PLAN



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

SPECIFIC PLAN

05/21/2019
04/19/2019
06/13/2018
05/03/2018



23 MEZZANINE FLOOR PLAN

24 FLOOR PLANS

27 ROOF PLAN

28 ELEVATIONS

30 SECTIONS

32 RENDERING

33 COLOR & MATERIAL BOARD

PHASE 2 - MIXED USE RESIDENTIAL

34 SITE PLAN & PROJECT SUMMARY

35 FIRE TRUCK ACCESS ROUTE

36 FLOOR PLANS

39 ELEVATIONS

41 SECTIONS

42 RENDERING

43 COLOR & MATERIAL BOARD

LANDSCAPE

44 LANDSCAPE TREE SURVEY

45 PHASE 1 LANDSCAPE PLAN

47 PHASE 2 LANDSCAPE PLAN

51 VEHICULAR VISIBILITY EXHIBIT

Appendix A: Conditions of Approval and Mitigation Measures

Appendix B: General Plan Consistency Analysis

Appendix C: Title Report and Assessor's Parcel Map

In addition, the following documents and studies associated with the Specific Plan are on file at the Planning Division of the Development Services Department, 240 W. Huntington Drive, Arcadia, CA:

- "City of Arcadia General Plan." City of Arcadia. November 2010
- "Phase I Environmental Site Assessment." Continental Assets Management March 2003
- "Preliminary Geotechnical Assessment." Geotechnologies, Inc. July 2013
- "City of Arcadia Zoning Map." Hogle-Ireland Inc. 2010
- "Santa Anita Inn Redevelopment Project." Kimley-Horn and Associates, Inc. Original July 2013, updated November 2013 and updated March 2018.



SEABISCUIT PACIFICA SPECIFIC PLAN

ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



- "Santa Anita Inn Redevelopment Project, Addendum to Traffic Impact Analysis." Kimley-Horn and Associates, Inc. 2013
- "Noise Impact Analysis." LSA Associates, Inc. August 2013
- "Air Quality Analysis." LSA Associates, Inc. August 2013
- The Primary Records forms (full sets-523A and 523B, and Location Map, etc).
- "Initial Study and Mitigated Negative Declaration, For Two Medical Office Buildings, A General Office Building, and a Four-Level Parking Structure at 161 Colorado Place and 125 IN, Huntington Drive." Pacific Design Group. December 2012
- "Hydraulic & Hydrology Calculation." Tritex Associates, Inc. July 2013

2.5 Specific Plan Land Use Components

The Seabiscuit Pacifica Specific Plan is proposed in the City of Arcadia at the southwest corner of Colorado Place and West Huntington Drive. The Specific Plan site occupies approximately 6.117 acres and is located at 130 - 180 Huntington Drive. The Seabiscuit Pacifica project proposes to construct a full service Marriott Hotel, and a residential mixed-use tower and supporting parking for the entire project. The Seabiscuit Pacifica Specific Plan proposes a total of SF square feet of building, including 171,524 square feet of hotel space with 233 rooms (6 more additional rooms than what was previously approved) in one building and SF) square feet of residential mixed-use with 96 total units. Figure A-1.0 shows the proposed Seabiscuit Pacifica Specific Plan land use plan and Table 2.8 summarizes the proposed uses of the Specific Plan.

The project is intended to support patrons, employees, and managers of the Santa Anita Park race track on a regular basis, in addition to general guests to the City of Arcadia. The full service hotel will allow for accommodations for race track and city guests. This lodging-related use is consistent with the goals of the General Plan for general commercial uses located around the Santa Anita Park race track. The hotel and the residential mixed-use are expected to generate a need for 185 new employees at build out.

Table 2.8: Seabiscuit Pacifica Specific Plan Land Uses

Hotel-Related Land Use	Room / Spaces	Floor Area (square feet)	Footprint Building Area (square feet)	Percent of Site
Phase I (hotel)				
LE Meridian Hotel	233	171,524	36,496	13.7
Subtotal	233	171,524	36,496	13.7
Phase II				
Residential Mixed-Use (sits on parking podium)	96	145,963	23,228	8.7
Residential Lobby and Amenities	-	20,018	1,851	0.7
Commercial		6,640	6,640	2.4
SPA		3,960	2,046	0.8
Subtotal	96	176,581	33,765	12.7
Parking				
Hotel Surface Standard Parking	81	--	--	-
Hotel Surface Valet Parking	152			
Hotel Surface Tandem Parking	0			
Structured Covered Standard Parking Phase II	118	--	--	
Structured Covered Tandem Parking Phase II	106			
Retail Surface Parking	34	--	--	--
Subtotal	491	--	--	--
Development Total				
Marriott Le Meridian Hotel	233	171,524	36,496	13.5
Residential Mixed Use	96	176,581	23,228	19.6
Total (w/o parking structure)	329	348,105	59,724	22.4
Total Parking Spaces	491		--	--
FAR (Total 1.0:1 Max allowed)	--	.68:1 (Does not include condominium SF)	--	--

Source: Architects Orange (April 2019)

- 1 Building footprint
- 2 Floor Area Ratio = Building Area (in square feet) : Site Area (266,456 square feet or 6.117 acres) per ALTA survey and County Assessor's Parcel data
- 3 Phase I hotel parking is 100% standard surface parking without tandems
- 4 Full valet service will be offered to the hotel patrons

2.5 Project Phasing

The Seabiscuit Pacifica Specific Plan is a self-supporting commercial project with individual owners/developers responsible for on-site and off-site improvements necessary to support development of the project. The previous Table 2.8 provides a summary of the various project uses by phase. Development of the plan area will occur in two phases, generally as follows:

Phase I

Phase I will be completed by 2020 and will include a full service Marriott Le Meridian hotel and surface parking. Phase II will consist of a mixed use development with garage parking, and surface parking. Phase I includes constructing a total of 171,524 square feet of hotel space. The hotel will contain a total of 233 rooms as outlined in Table 2.C. The Marriott Le Meridian Hotel is Marriott's upscale, artistic, full service brand hotel offering an upscale guest experience in a mid-century modern environment with a full service food and beverage component and a modern and refreshing design. The hotel will have a six floor wing and a five floor wing with a maximum height of approximately 80 feet. Phase I surface parking will have 233 spaces for the hotel to support the additional 6 rooms that were added to the previously approved project.

Phase II

Phase II includes construction of the residential mixed-use tower, which will comprise of 96 total units, covered structured parking and street frontage commercial. The residential tower will have eight floors and include 96 condominium units, and a structured parking podium. The residential mixed-use tower will have a maximum height of 95'-0" to the primary roof deck. The parking, which will be constructed during Phase II for the residences, will contain 145,963 square feet and 224 garage parking spaces as shown in Table 2D. The parking requirements are two parking spaces for every unit and an additional one guest parking space for every three units. Each unit will have two covered parking spaces in the parking structure, where all the guest spaces will be located. Any changes or alteration to the parking space assignment shall be subject to review and approval by the Development Services Director or designee (refer to condition of approval no. 3 of Appendix A).

Phase II parking will have 258 parking spaces in all at the completion of the phase two parking structure. After Phase II completion, a grand total of 491 parking spaces will be available, which will yield a hotel parking ratio of 1.00.

Table 2.C: Seabiscuit Pacifica Rooms / Units Summary

Project Rooms / Units Summary		
Phase I	Building	# of Rooms/Units
	Full Service Marriott Hotel	233
	Total Phase I Rooms	233
Phase II		
	Residential Mixed Use	96
	Total Phase II Rooms	96



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

SPECIFIC PLAN

04/19/2019
06/13/2018
05/03/2018



Table 2.D: Seabiscuit Pacifica Parking Summary

Project Parking Summary		
Phase I	Type	# of Spaces
	New Surface Parking (at completion of Phase 2)	233
	Total Phase I Spaces	233
Phase II	Type	
	New Residential Structure Parking	224
	New Surface Retail Parking	34
	Total Phase II Spaces	258
Total Phase I and Phase II		491

2.6 Access/Improvements/Screening

Primary access for the hotel will from West Huntington Drive. Primary access to the residential mixed-use will be off of West Huntington Drive. A driveway off of East Huntington Drive will serve as a secondary/emergency access point for both the hotel and condominium

Main entrance into the parking lot will feature a tree lined entry approach providing plenty of stacking space for guests.

The project will prepare a sewer capacity study and provide a "fair share" contribution to help fund an expansion project already included in the City's Capital Improvement Program (CIP) that will provide adequate sewer capacity for this project.

An additional ten (10) feet is allowed for architectural features, chimneys, vents, equipment, and other accessory rooftop structures on the hotel and condominium building. Such appurtenances not fully incorporated as architectural features shall be adequately screened by a wall. Any roof-mounted mechanical equipment shall be appropriately screened from view. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape, and size. Where individual equipment is provided, a continuous screen is desirable.

2.7 Landscaping Requirements

A conceptual landscaping plan is included with the Specific Plan application and it will be phased as well. The proposal is consistent with City requirements and the overall landscaping plan for the Santa Anita Park race track and West Huntington Drive.

2.8 Design Narrative

1. Building Architecture

A. Hotel

Art Deco is the style of the Santa Anita Park grandstand and may also be found throughout Los Angeles. Early Art Deco was influenced by bold geometric forms – the cylinder, the sphere, the cone, and the cube. The use of reinforced concrete enabled architects and engineers to design buildings with clean lines, rectangular forms, and little decoration on the façade. For projects on a tight budget, the simple box could be embellished with applied motifs that made a conceptually rudimentary structure appear fashionable and up to date. Visual interest could be further enhanced by stretching linear forms horizontally and vertically throughout the building

Taking cues from that era, we approached our design with a modern and fresh interpretation of the characteristics of the Art Deco style. The building portrays a clean and modern, yet subtle homage to this movement. The design is sophisticated, timeless, tasteful, yet striking.

The deco light vocabulary includes rounded streamlined corners, cantilevered horizontal banding, meaningful vertical elements, and subtle patterning whose motifs are drawn from the special equestrian nature of the site and its proximity to the world famous track. Striking architectural elements, thoughtfully located at each end of the building and adjacent to the street to provide a memorable and artistic deco-esque icons, signaling the luxury and special hand crafted nature that awaits the hotel guest.

Exterior architectural lighting will highlight the rich materials, colors and forms of the hotel creating a landmark project, beautiful during the day and subtly spectacular at night.

The hotel is a Marriott product and must adhere to their design guidelines, which has its own requirements and restrictions. Designers are able to tailor their designs to many different specifications and styles, but still must hold true to Marriott's required design elements. In comparison to their prototypes, this hotel is much different and unique to Arcadia. The interior will feature the newest generation of Marriott hotel designs, which were only approved for use in the last year. Franchise also requires all hotels to be updated every five years so guests will have the latest design and experience. Marriott's designs have always experienced a lot of success as they are constantly being honed and have always scored well in customer satisfaction. The hotel will also have fantastic outdoor gardens and meeting / gathering space and an intimate pool amenity deck. The ground level gardens will provide a verdant and lush street presence to the community and a stunning backdrop for the various lobby, restaurant, gathering and lounge spaces organized around the garden.



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



SPECIFIC PLAN

B. Residential Mixed-Use

The architectural design and character of the residential mixed-use is visually complimentary with the Phase I hotel design while providing a slightly more modern and urban texture. The structured parking is hidden behind a luxurious retail façade, fronting West Huntington Drive and lining the grand arrival boulevard providing an activated retail façade across from the hotel lobby. With a lush landscaped podium at its base, the residential towers will sit among gardens, pools and lifestyle seating areas, with spectacular views of the mountains and the city. The building architecture plays off the art deco and mid-century modern elements of the hotel and playfully varies the facades, colors and materials to create striking luxury residences. A subtle ground level connection between Phase I and Phase II is planned for the overall project.

2. Fences & Walls

A. Hotel

Proposed walls would include decorative fencing feature that would enclose the hotel garden and patios, and separate it from the ground level to create privacy. It will have finishes to compliment the buildings. There will be landscaping adjacent to meeting rooms, which would also be consistent in appearance with the adjacent architecture. The balance of the project will have extensive landscaping.

B. Residential Mixed-Use

Proposed walls for the residential mixed-use include a 5-6' perimeter wall around the pool area to ensure guest privacy and child safety. It will have either a stucco finish, metal rail, or glass design to tie into the building architecture. The balance of the project will have extensive landscaping to accentuate the surrounding architecture and mesh the two phases into one fluent design. No walls or fencing will divide the phases as required.

3. Parking

Surface parking and structured parking will be illuminated in a manner to provide enough safe visibility and not be a disturbance to off-site traffic. As part of Specific Plan conditional approval, parking lot lighting study will be performed prior to issuance of building permit. Guest safety is a priority and on-site security cameras will also be used to ensure this is achieved.

4. Phased Parking Lot

Phase one will be fully parked with 233 surface parking stalls for the 233 guest rooms. Phase two will provide structured parking that will fully park the phase two buildings by providing 491 parking stalls, which includes replacement parking for all hotel parking removed to construct phase 2.

Phase I – Hotel

233 new spaces, 100% standard surface parking

Total spaces After Phase 1 completion= 233

*Requirement is 1.0 parking-to-room ratio

Rooms = 233

Parking= 233

Phase 2-Residential Mixed-Use (96 Units)

224 garage parking

*Requirement is 2 parking spaces per unit plus 1 guest parking for every 3 units, so at least 224 spaces must be provided.

Total spaces after Phase 2 completion= 491 spaces

- 233 Standard Parking
- 106 Tandem Parking
- 152 Valet Parking

**Only 224 spaces will be dedicated to residents and guests, while remaining balance of 267 spaces will be dedicated to the hotel parking and commercial parking.

5. Landscaping

There will be many new trees, shrubs, and ground covers that will be planted to enhance the aesthetics of the entire site. Prior to issuance of a grading permit for each phase, the developer shall provide an assessment of existing trees on the areas to be developed. This tree assessment shall be prepared by a qualified landscape architect and identify any existing large bushes or trees that can be relocated or preserved as part of the new development project. The project landscaping plans shall attempt to preserve existing mature trees onsite to the extent feasible, based on the tree assessment. This measure shall be implemented to the satisfaction of the City Planning Division.

6. Signs

Typical directional and room designation signage will be provided per code requirements. Exterior Marriott and retail signage will also be installed on the exterior of the buildings. There will also be two small monument signs for the hotel located along West Huntington. The size, height, and style shall be subject to review by staff through a Sign Design Review Application. Any new signage or replacement in the future shall be subject to a formal sign design review. No amendment to the Specific Plan is required.

7. Outdoor Equipment

Outdoor equipment, devices, and trash will be shown on the landscaping plan.



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

SPECIFIC PLAN

04/19/2019
06/13/2018
05/03/2018



2.9 Approval and Implementation

The Seabiscuit Pacifica Specific Plan is expected to be built out as outlined in the Specific Plan document and as shown on the attached plans (A-1.0 through A-5.5 and others outlined above), including building heights and FAR allowances. Approval of the Seabiscuit Pacifica Specific Plan by the City Council will constitute acceptance by the City that the proposed Specific Plan is generally consistent with the General Plan, and that any modification to the building development characteristics shown in this Specific Plan (with the exception of minor modifications to the landscaping plan) will require City Council approval of a Specific Plan Amendment.

2.10 Interpretation of the Specific Plan

Interpretation of the provisions of the Specific Plan is the responsibility of the Development Services Director or designee. This authority extends to determining "substantial conformance" with the standards, regulations, and guidelines of the Specific Plan and all associated documents, and includes:

1. Determinations regarding issues, conditions, or situations that arise that not addressed by the Specific Plan.
2. Approval of signs in compliance with the standards of the zoning designation.
3. Additions, deletions and changes to the Specific Plan exhibits or text that substantially comply with the Specific Plan.
4. Adjustments to the site plan, building elevations, landscaping, parking, and all other conceptual plans.
5. Building-mounted mechanical equipment or cellular installations.

The Director or designee may make a decision on the above issues, with or without conditions, or can refer a decision to the Planning Commission and/or City Council at a noticed public hearing. Notice shall be provided by publication in a newspaper of general circulation. If necessary, additional CEQA review and/or analysis will be conducted to determine the impacts of the request. Determinations of substantial conformance shall be made based on findings that the request:

1. Substantially conforms to all applicable provision of the Specific Plan.
2. Will not adversely affect public health and safety.
3. Will not adversely affect adjacent properties.



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

SPECIFIC PLAN

04/19/2019
06/13/2018
05/03/2018





1



2



3



4



5



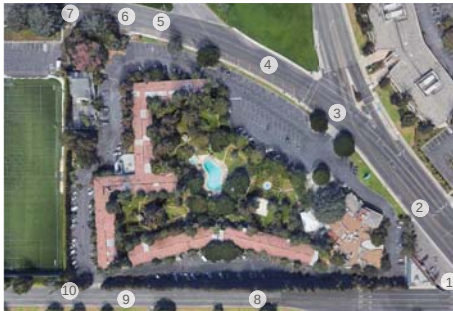
6



7



8



9



10

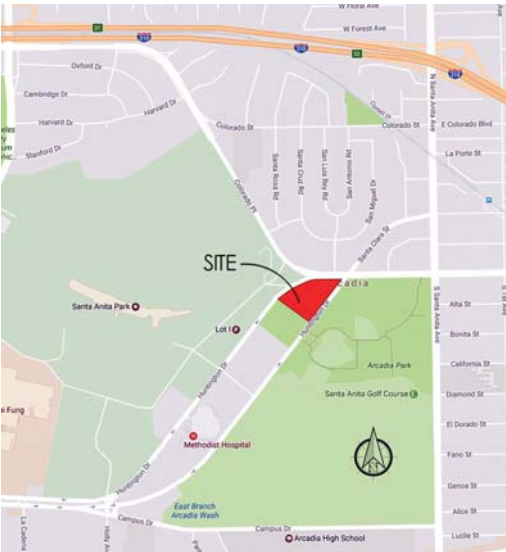
SITE PHOTOS



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





VICINITY MAP



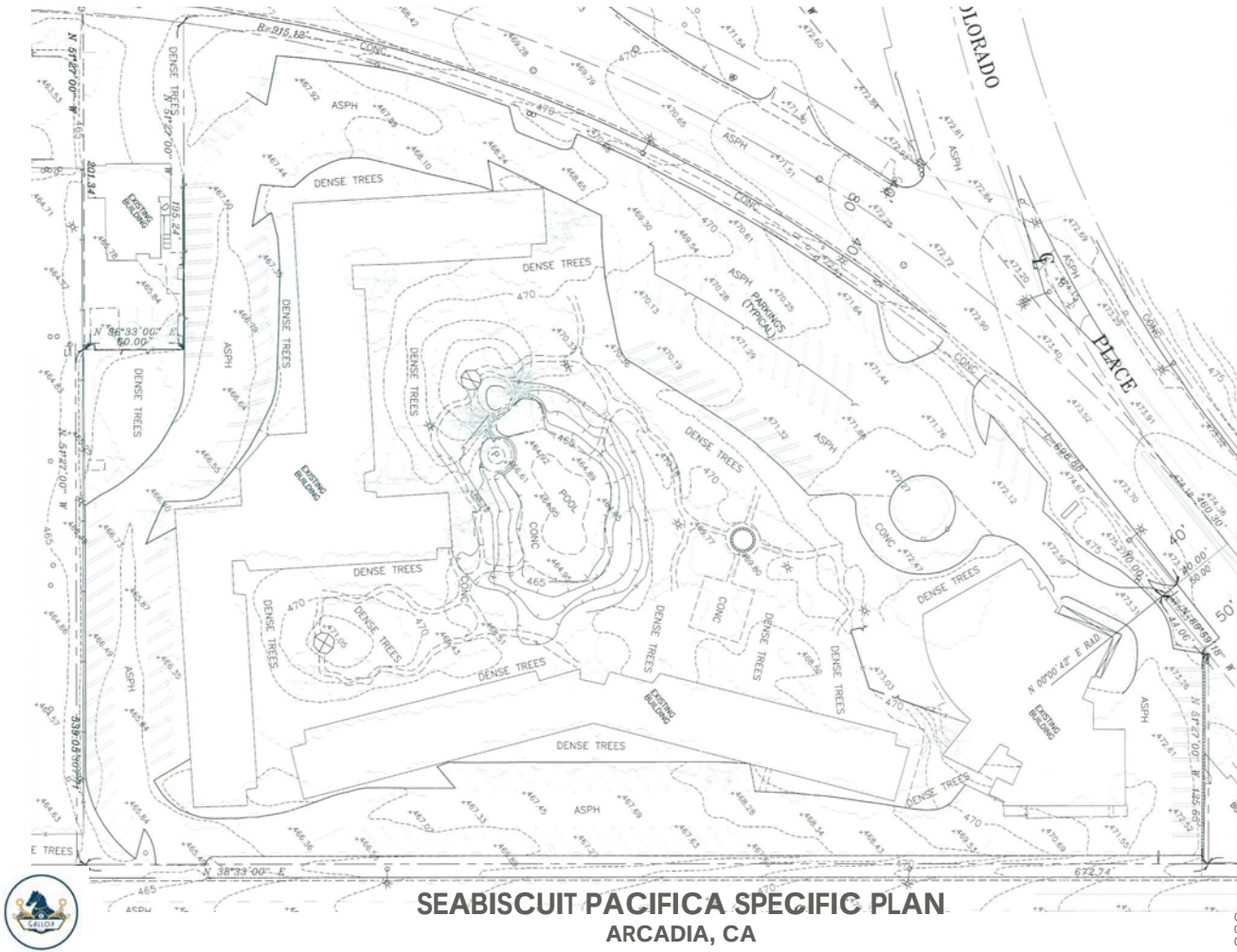
SITE MAP

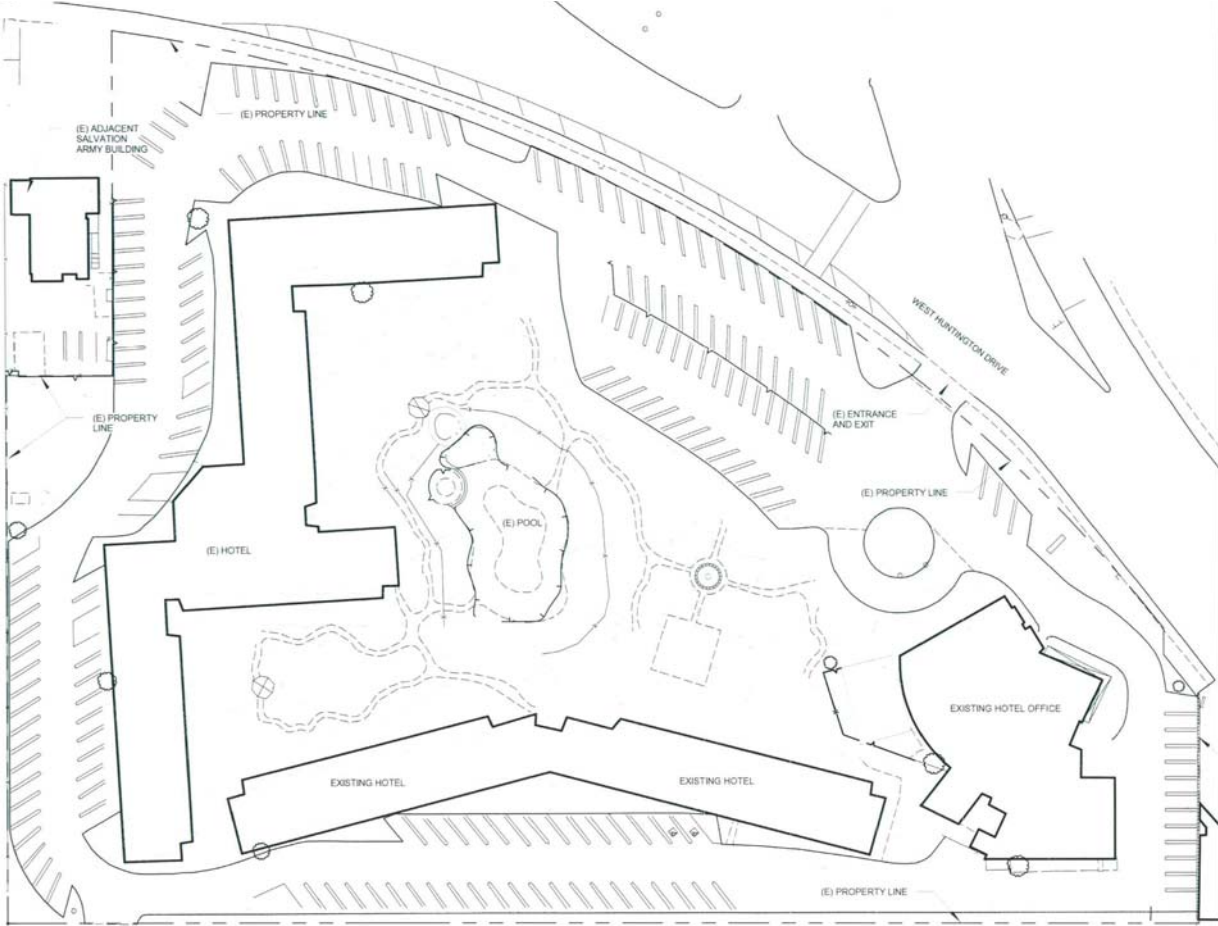


SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018







SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



SCALE: 0 6' 12' 32'
EXISTING SITE PLAN



04/19/2019
06/13/2018
05/03/2018



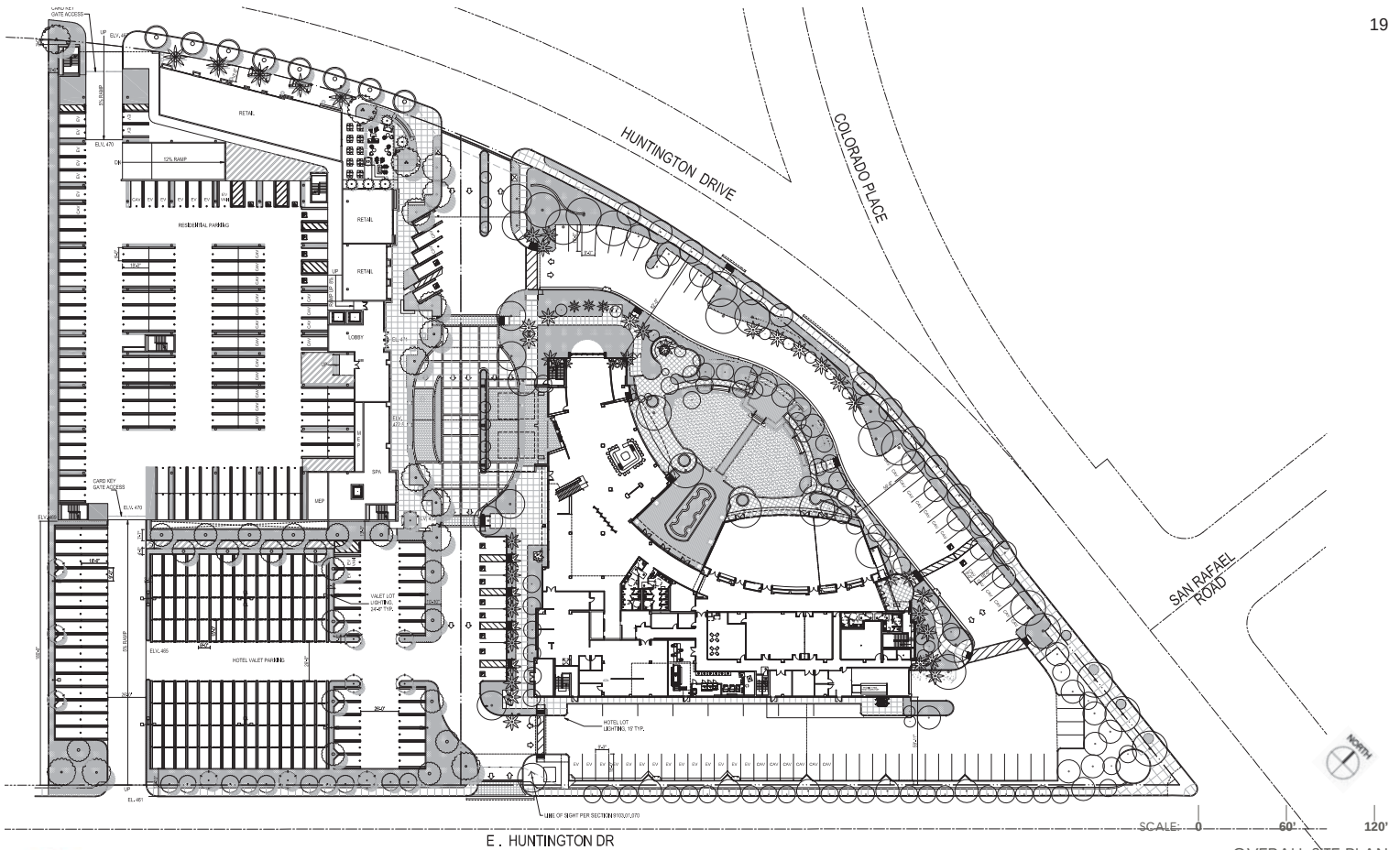
04/19/2019
06/13/2018
05/03/2018



04/19/2019
06/13/2018
05/03/2018



04/19/2019
06/13/2018
05/03/2018

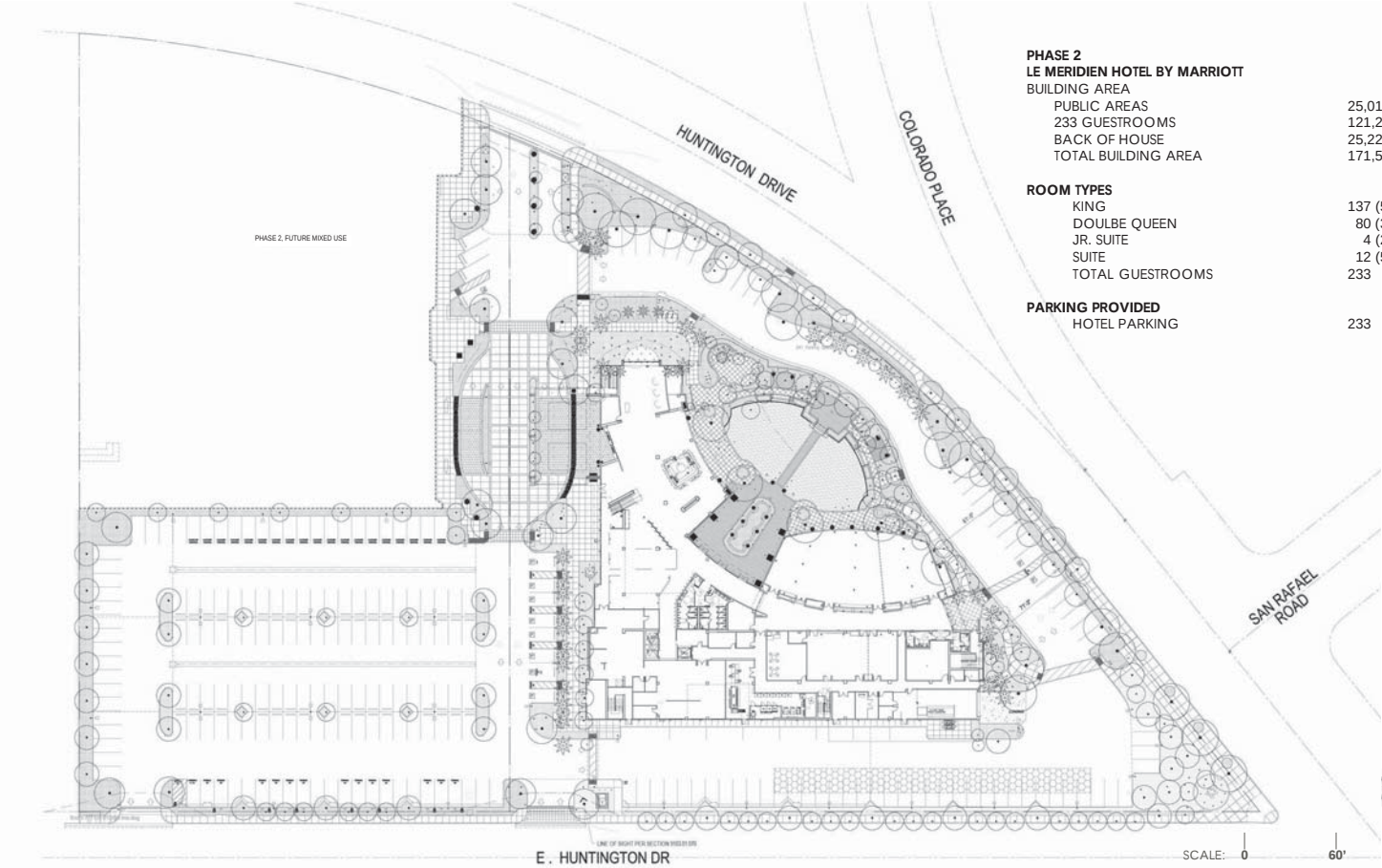


SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

OVERALL SITE PLAN

05/21/2019
04/19/2019
06/13/2018
05/03/2018



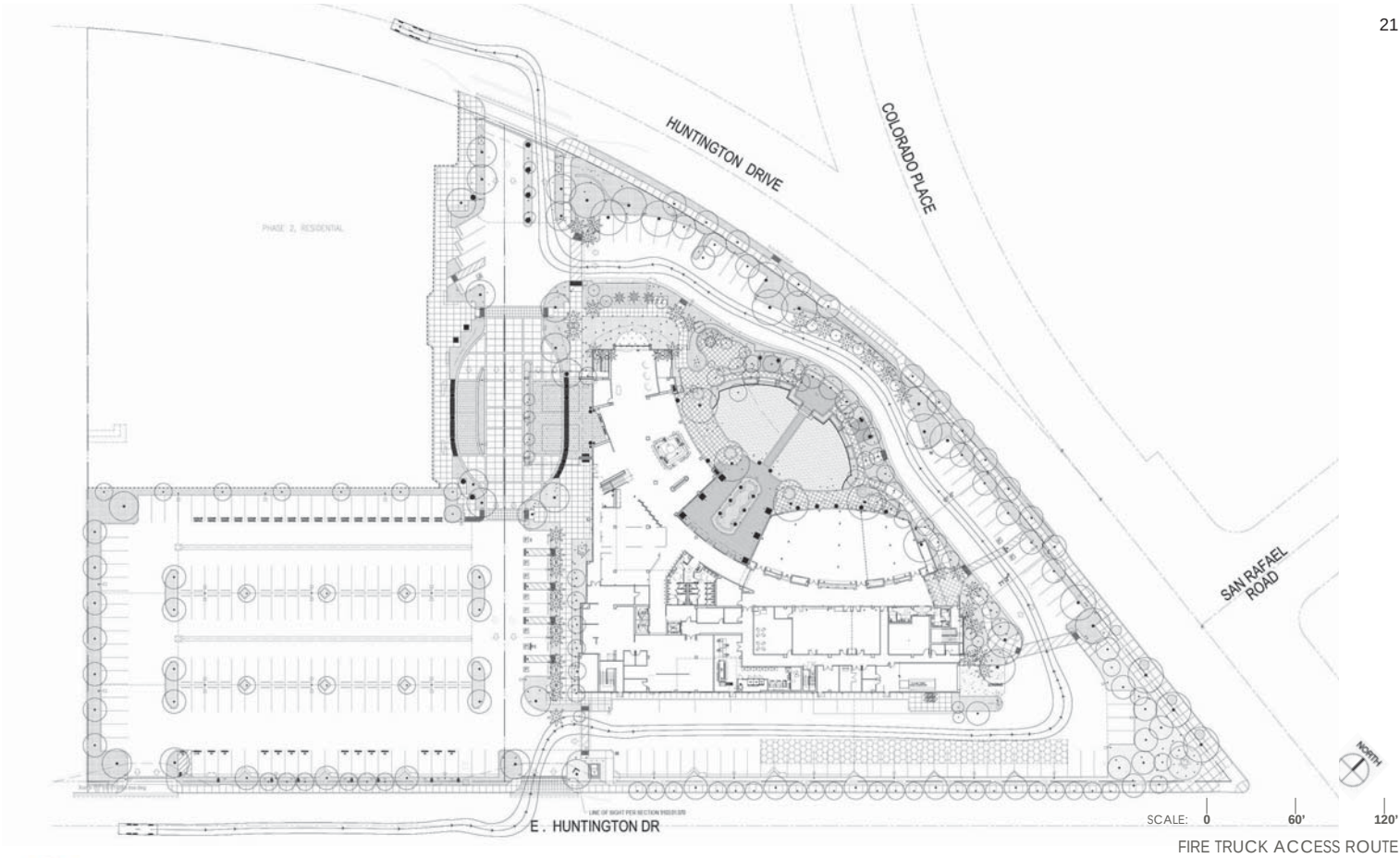


SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

PHASE 1 - SITE PLAN & PROJECT SUMMARY

04/19/2019
06/13/2018
05/03/2018

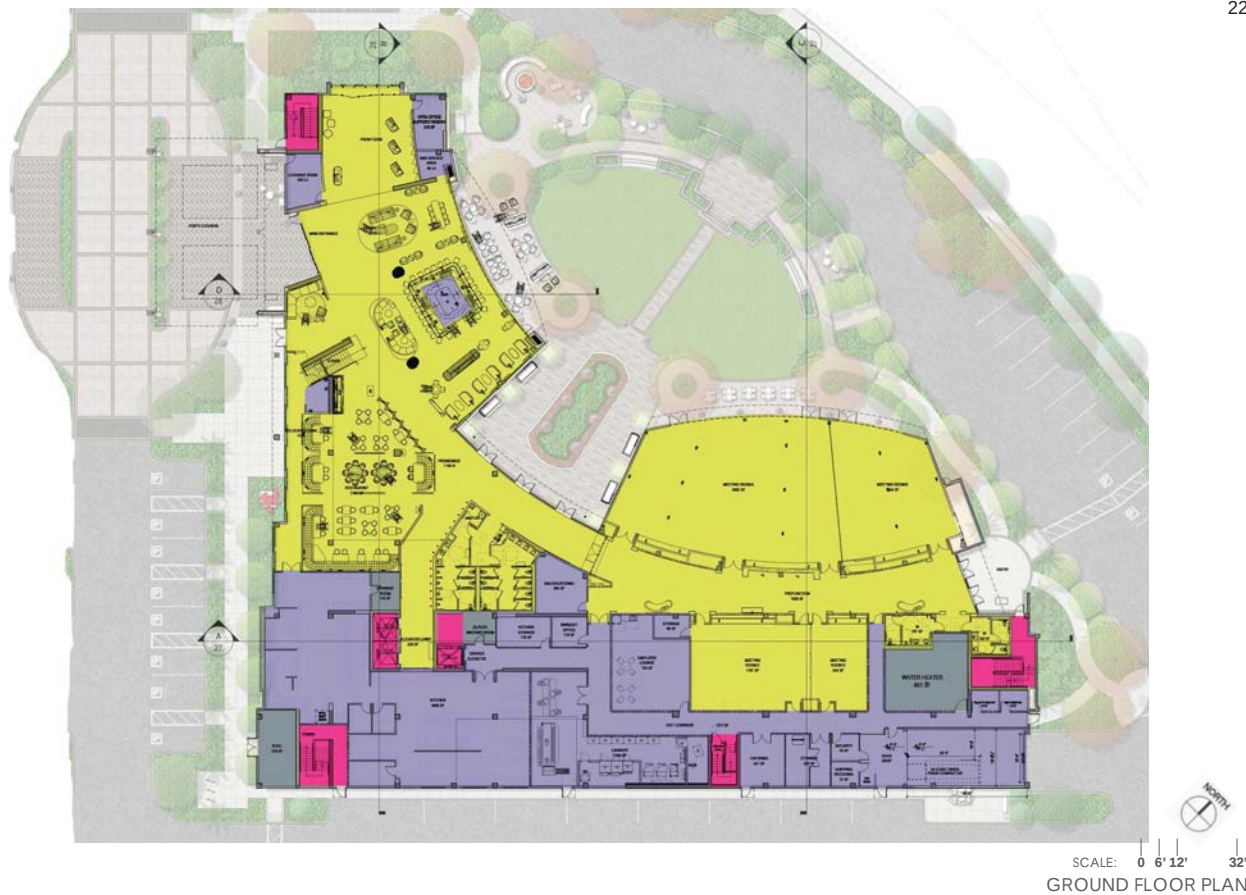




SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





SCALE: 0 6' 12' 32'
MEZZANINE FLOOR PLAN



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





SCALE: 0 6' 12' 32'
LEVEL 2 FLOOR PLAN



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





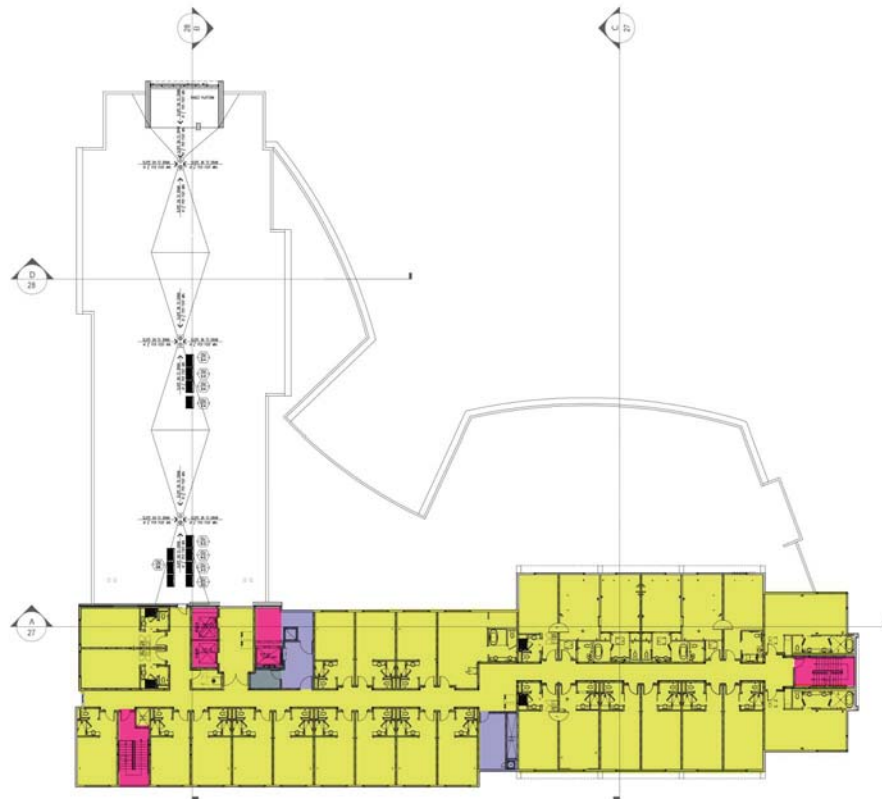
SCALE: 0 6' 12' 32'
LEVELS 3, 4 & 5 FLOOR PLAN



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





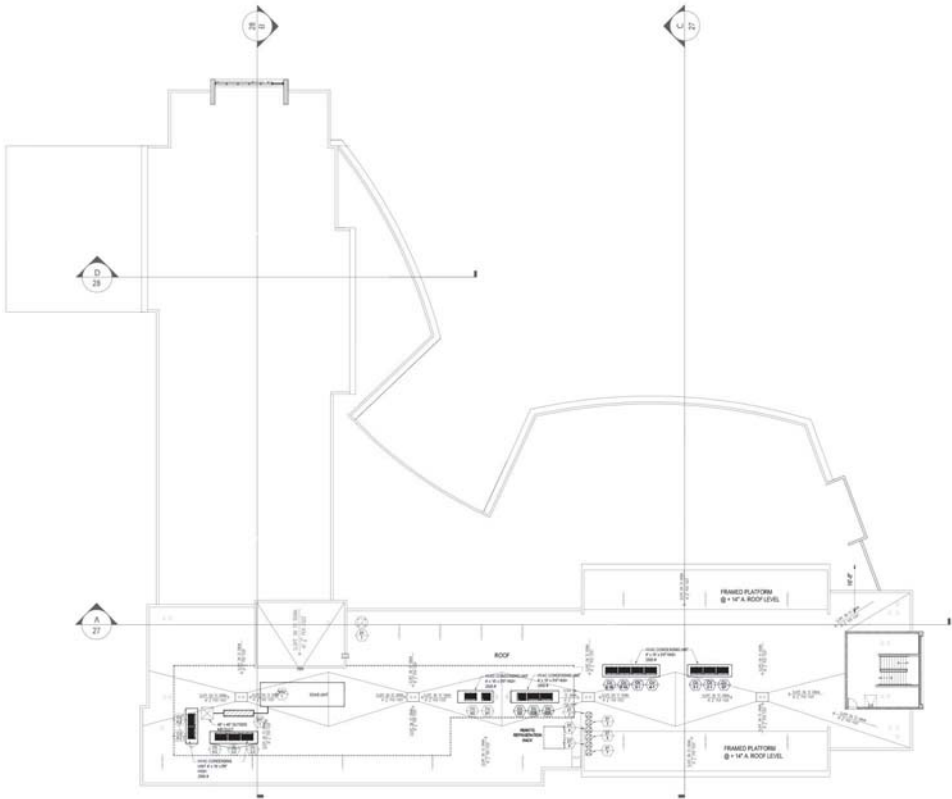
SCALE: 0 6' 12' 32'
LEVEL 6 FLOOR PLAN



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





SCALE: 0 6' 12' 32'
ROOF PLAN



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



LEGEND

-  **1A** Painted Finish
Dunn Edwards "Fossil"
-  **1B** Painted Finish
Dunn Edwards
"Play on Gray"
-  **1C** Painted Finish
Dunn Edwards
"Pointed Rock"
-  **2** Stone Accent Rough Finish
Grey Limestone
-  **3A** Low E Green Tinted Glass
-  **3B** Clear Glass Storefront
-  **4.** Aluminum Siding with
Woodgrain Finish
-  **5** Laser-cut Metal Panel
-  **6** Glass Fiber Reinforced
Concrete
-  **7** Painted Finish
Dunn Edwards
"Desert Suede"



NORTH EAST ELEVATION



SOUTH WEST ELEVATION

SCALE: 0 6' 12' 32'
ELEVATIONS

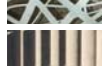


SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



LEGEND

-  **1A** Painted Finish
Dunn Edwards "Fossil"
-  **1B** Painted Finish
Dunn Edwards "Play on Gray"
-  **1C** Painted Finish
Dunn Edwards "Pointed Rock"
-  **2** Stone Accent Rough Finish
Grey Limestone
-  **3A** Low E Green Tinted Glass
-  **3B** Clear Glass Storefront
-  **4** Aluminum Siding with
Woodgrain Finish
-  **5** Laser-cut Metal Panel
-  **6** Glass Fiber Reinforced
Concrete
-  **7** Painted Finish
Dunn Edwards "Desert Suede"



NORTH WEST ELEVATION



SOUTH EAST ELEVATION

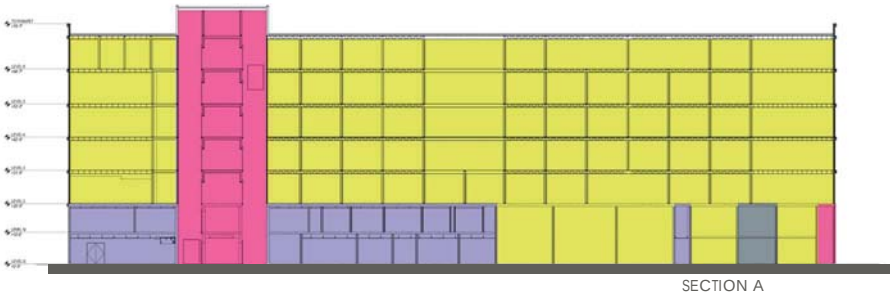
SCALE: 0' 6' 12' 32'
ELEVATIONS



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





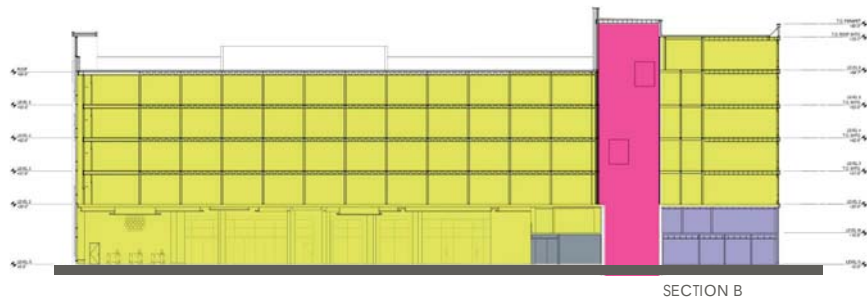
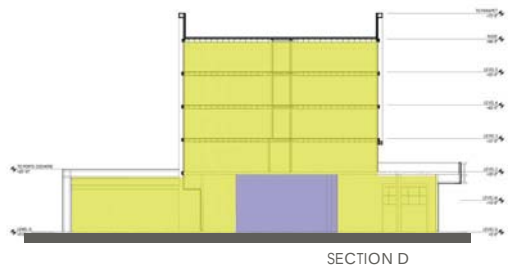
SCALE: 0 6' 12' 32'
SECTIONS



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





SCALE: 0 6' 12' 32'
SECTIONS



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





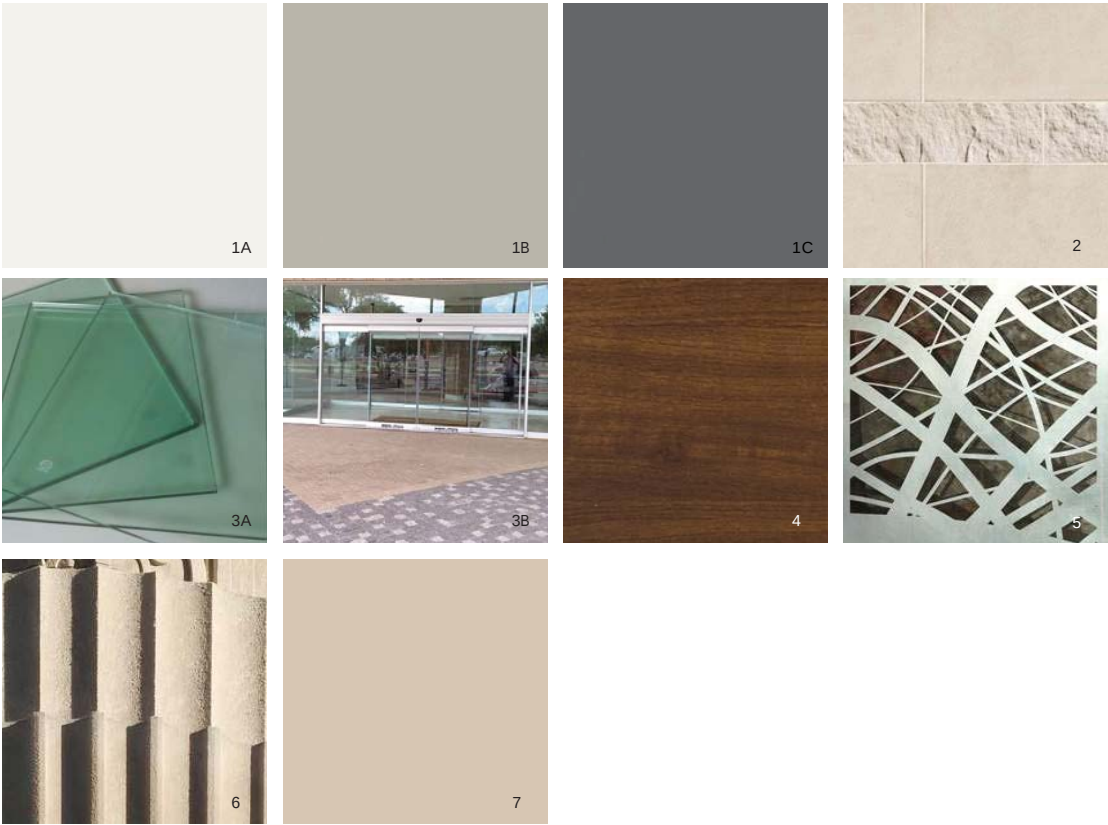
RENDERING



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
 06/13/2018
 05/03/2018





- LEGEND**
- 1A** Sand Plaster Finish
Dunn Edwards "Fossil"
 - 1B** Smooth Plaster Finish
Dunn Edwards "Play on Gray"
 - 1C** Sand Plaster Finish
Dunn Edwards "Pointed Rock"
 - 2** Stone Accent Rough & Smooth
Finish - Grey Limestone
 - 3A** Low E Green Tinted Glass
 - 3B** Clear Glass Storefront
 - 4.** Aluminum Siding with Woodgrain
Finish
 - 5** Laser-cut Metal Panel
 - 6** Glass Fiber Reinforced Concrete
 - 7** Sand Plaster Finish
Dunn Edwards "Desert Suede"

COLOR AND MATERIAL BOARD



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



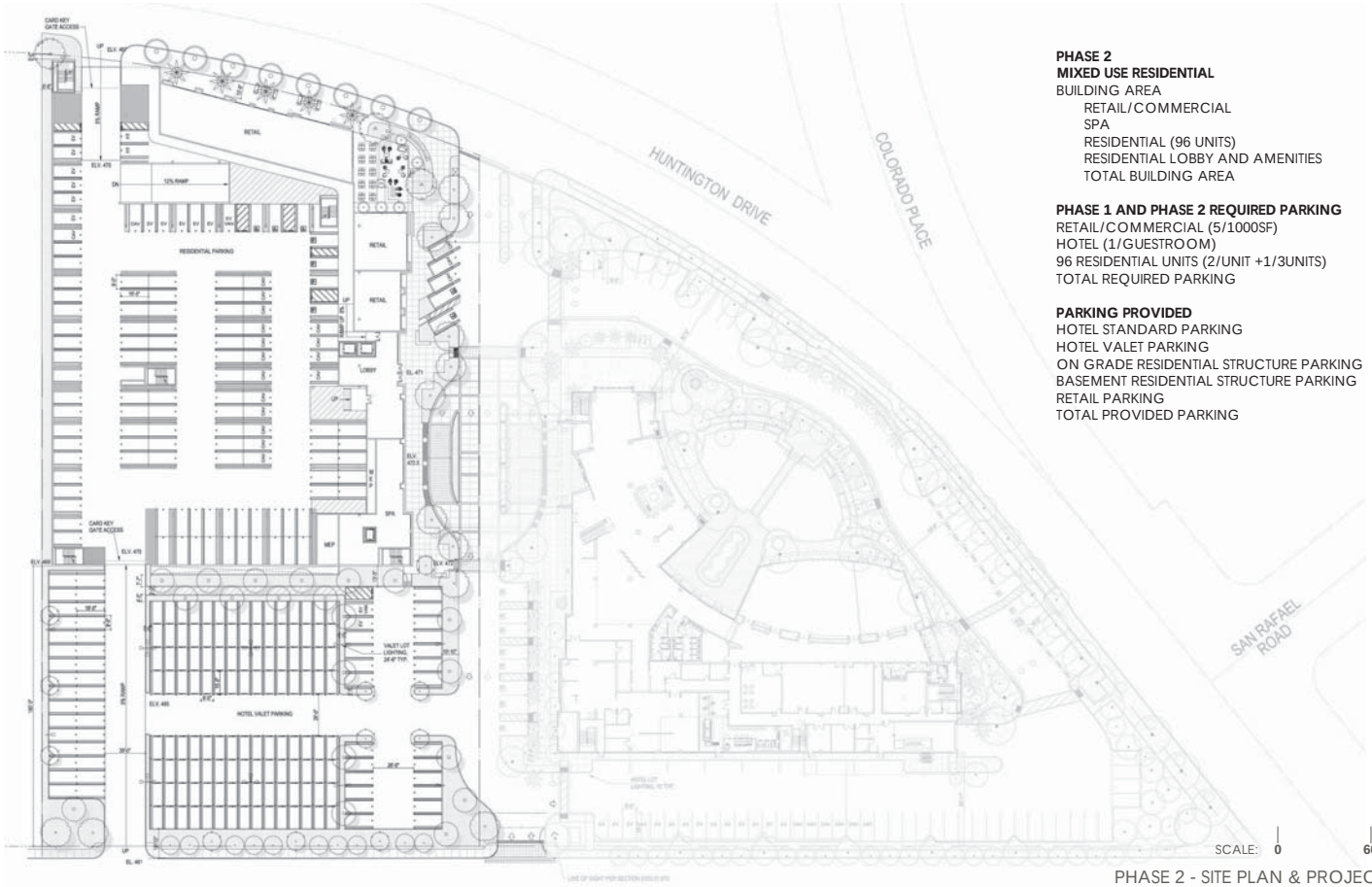
PHASE 2 - MIXED USE RESIDENTIAL



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018

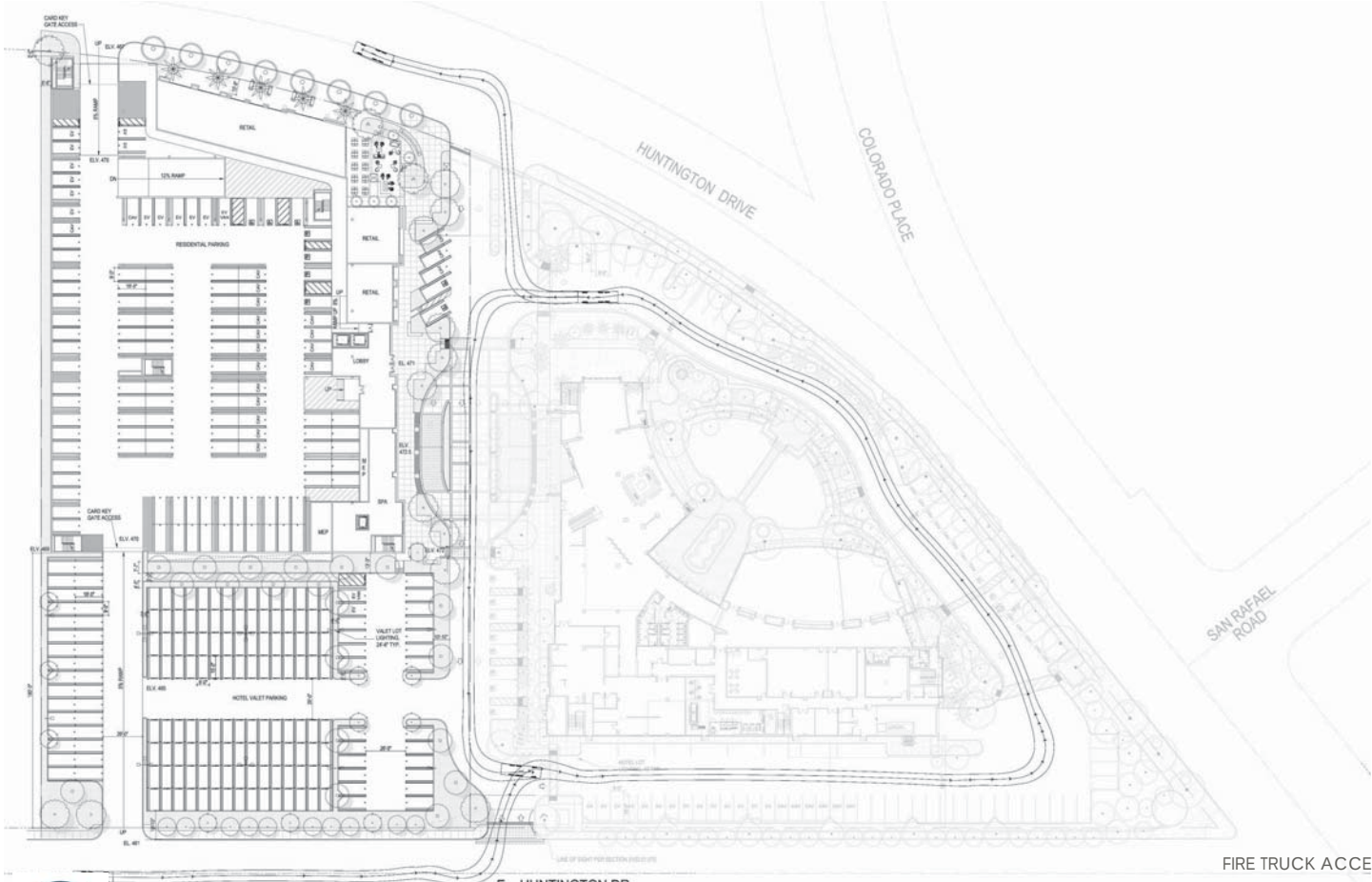




E. HUNTINGTON DR
SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018

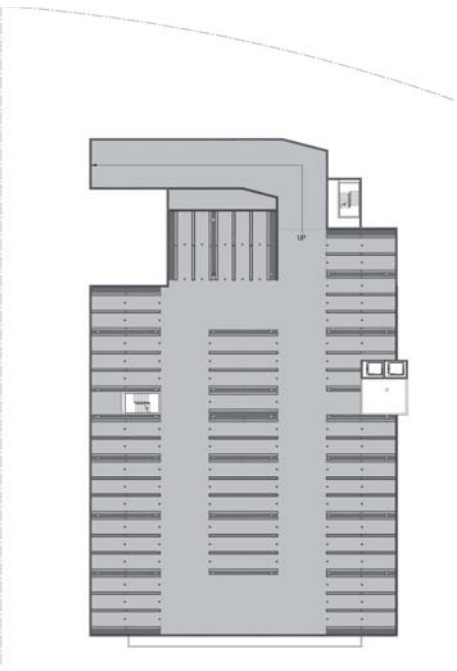




E. HUNTINGTON DR
SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





PARKING LEVEL B1
-10'-0"



RETAIL LEVEL L1
+0'-0"

SCALE: 0 50' 100'

FLOOR PLANS



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





LEVEL 2

SCALE: 0 50' 100'

FLOOR PLANS



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





ROOF TOP



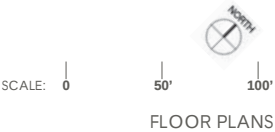
LEVEL 8



LEVEL 3-7



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA



FLOOR PLANS

04/19/2019
06/13/2018
05/03/2018



LEGEND

1A Sand Plaster Finish
Dunn Edwards "Fossil"

1B Smooth Plaster Finish
Dunn Edwards
"Play on Gray"

1C Smooth Plaster Finish
Dunn Edwards
"Pointed Rock"

2 Glass Fiber Reinforced
Concrete

3A Low E Clear Glass

3B Clear Glass Storefront

4 Composite Metal Panel

5 Laser-cut Art Deco Style
Metal Panel

6 Smooth Limestone Wall
Tile



SCALE: 0 6' 12' 32'

ELEVATIONS

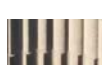


SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



LEGEND

-  **1A** Sand Plaster Finish
Dunn Edwards "Fossil"
-  **1B** Smooth Plaster Finish
Dunn Edwards "Play on Gray"
-  **1C** Smooth Plaster Finish
Dunn Edwards "Pointed Rock"
-  **2** Glass Fiber Reinforced
Concrete
-  **3A** Low E Clear Glass
-  **3B** Clear Glass Storefront
-  **4** Composite Metal Panel
-  **5** Laser-cut Art Deco Style
Metal Panel
-  **6** Smooth Limestone Wall
Tile



SCALE: 0 6' 12' 32'

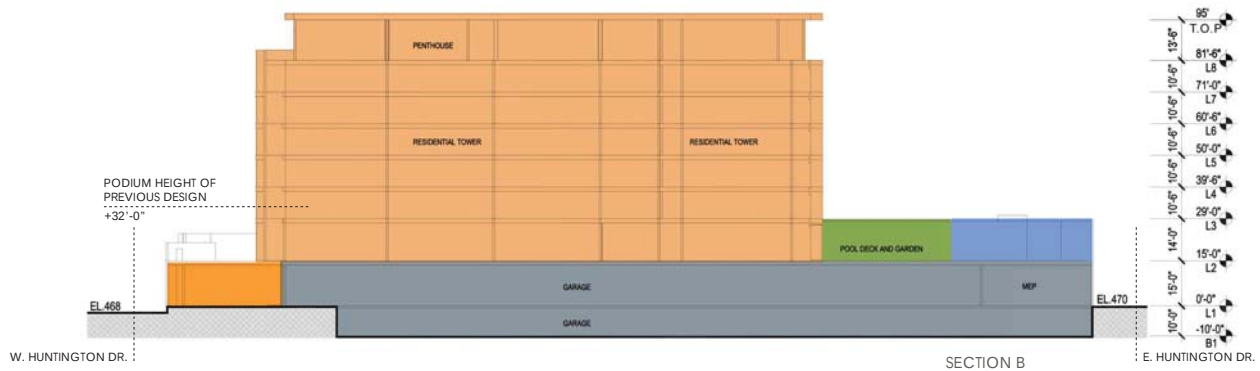
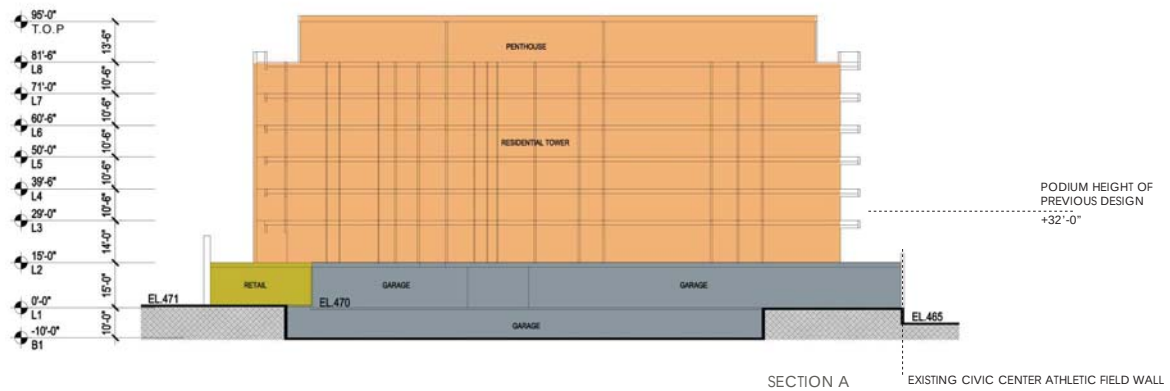
ELEVATIONS



**SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA**

04/19/2019
06/13/2018
05/03/2018





SCALE: 0 6' 12' 32'

SECTIONS



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





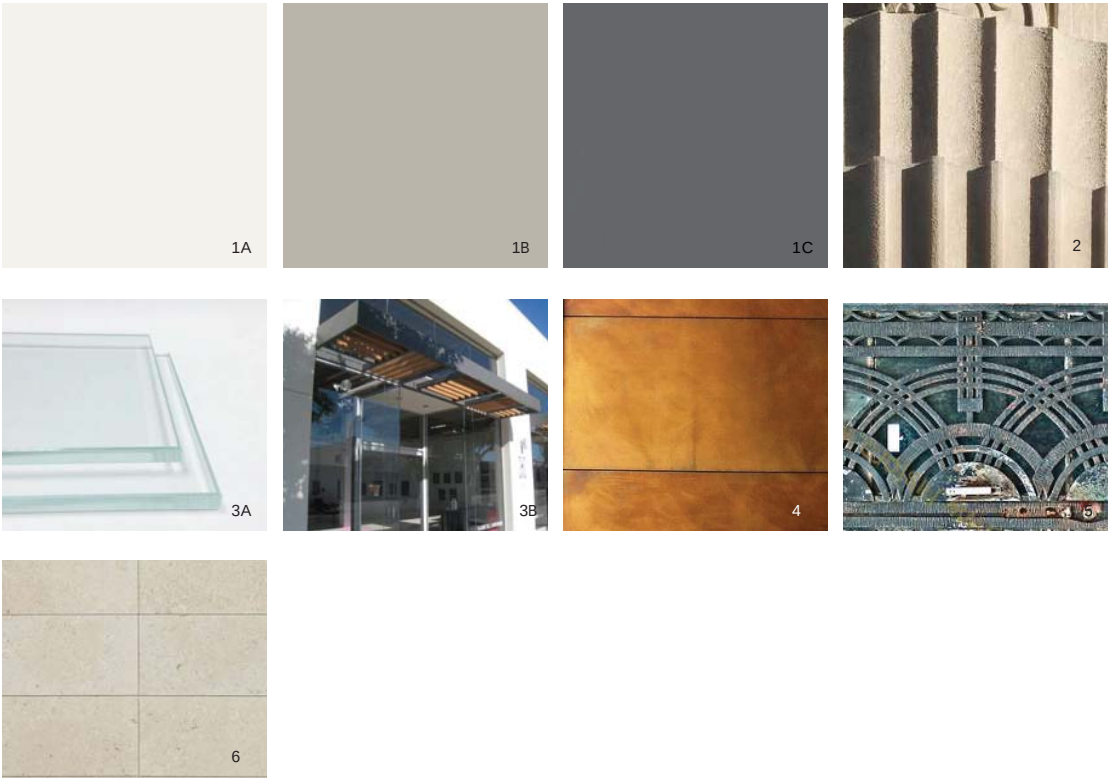
VIEW SOUTH TOWARD SANTA ANITA GOLF COURSE



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





- LEGEND**
- 1A** Sand Plaster Finish
Dunn Edwards "Fossil"
 - 1B** Smooth Plaster Finish
Dunn Edwards "Play on Gray"
 - 1C** Smooth Plaster Finish
Dunn Edwards "Pointed Rock"
 - 2** Glass Fiber Reinforced Concrete
 - 3A** Low E Green Tinted Glass
 - 3B** Clear Glass Storefront
 - 4.** Composite Metal Panel
 - 5** Laser-cut Art Deco Style
Metal Panel
 - 6** Smooth Limestone Wall Tile



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018

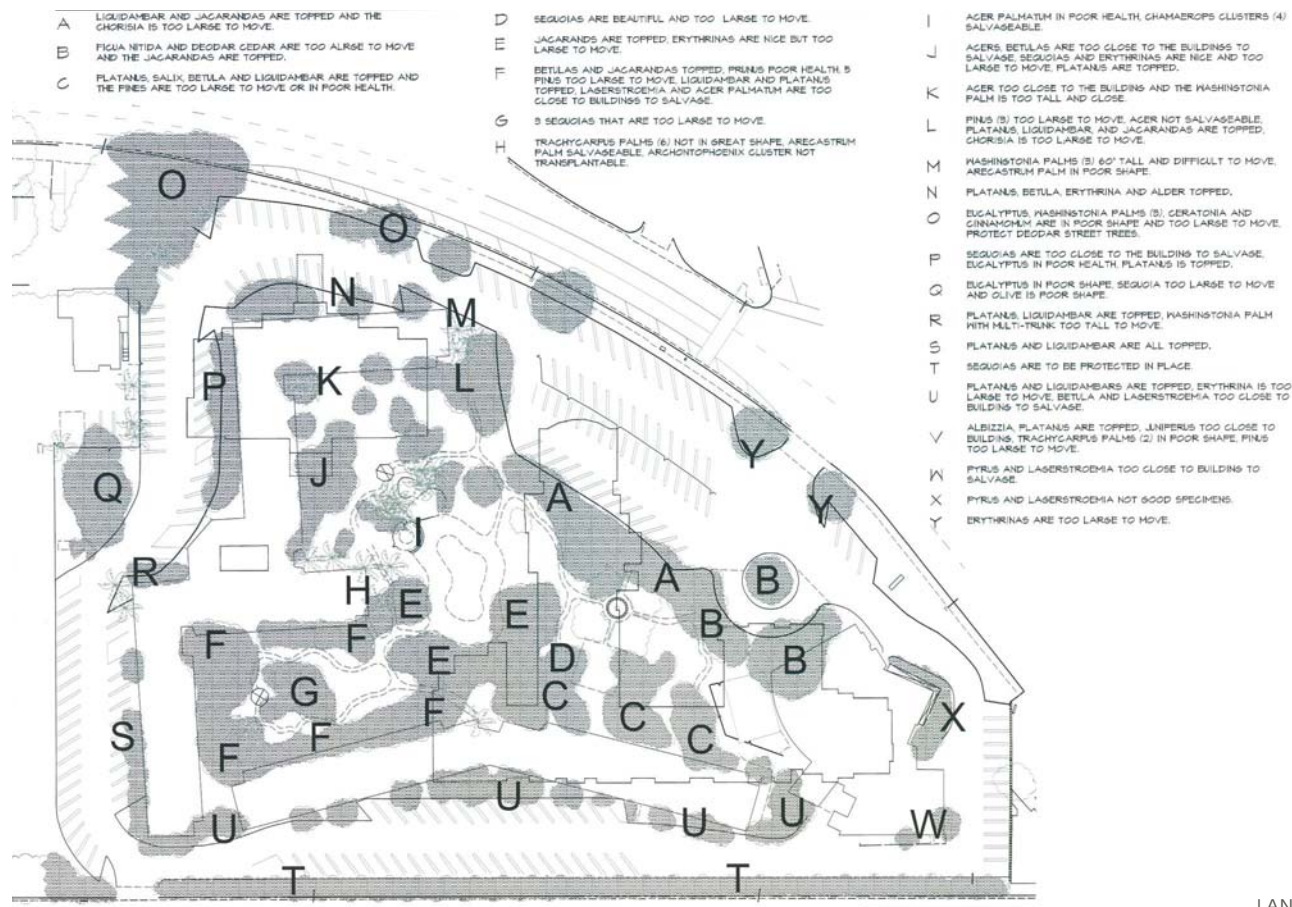




SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





LANDSCAPE TREE SURVEY



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018



LANDSCAPE CALCULATIONS - PHASE ONE	
TOTAL SITE SQUARE FOOTAGE = 190,565 SQ. FT.	
LANDSCAPE SQUARE FOOTAGE = 23,018 SQ. FT.	
PARKING SQUARE FOOTAGE = 39,846 X 5% = 1,992 SQ. FT. OF LANDSCAPE REQUIRED (MINIMUM)	
= 14,262 SQ. FT. OF LANDSCAPE PROVIDED	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	ESTIMATED TOTAL WATER USAGE
MAWA = (ETO) X (0.7) X (LANDSCAPE AREA) X (0.62)	ETWU = (ETO) X (0.62) X (PLANT FACTOR) X (LA) / (0.9)
= (50.2) X (0.7) X (23,018 SQ. FT.) X (0.62)	= (50.2) X (0.62) X (1.4) X (23,018) / (0.9)
= 501,488 GAL / YEAR	= 318,405 GAL / YEAR

LANDSCAPE KEYNOTES	
1	PROPERTY LINE
2	PEDESTRIAN CONCRETE SIDEWALK PER CITY STANDARDS
3	ENHANCED PEDESTRIAN WALKWAY
4	CONCRETE PEDESTRIAN WALKWAY
5	SPECIALTY PAVING AT ENTRY DRIVE
6	ENTRY SIGNAGE
7	PORTE COCHERE
8	SEATING AREA
9	COVERED DINING PATIO
10	OPEN SEATING AREA
11	ENHANCED CROSSWALK
12	FREESTANDING SCREENING WALL WITH SIGNAGE
13	BIKE LOCKERS
14	ELEVATED DECK
15	DECORATIVE BACKDROP
16	MULTI-PURPOSE SYNTHETIC LAWN GARDEN
17	PROPOSED PLANTING - TYP.
18	BIKE RACKS
19	MOUNDED LANDSCAPE
20	ART INSTALLATION

FUTURE PHASE 2
DEVELOPMENT

W. HUNTINGTON DR

E. HUNTINGTON DR



SCALE 1" = 60'



PHASE 1 - LEVEL 1
LANDSCAPE SITE PLAN

04/19/2019
06/13/2018
05/03/2018



SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA





E. HUNTINGTON DR



SCALE 1" = 60'

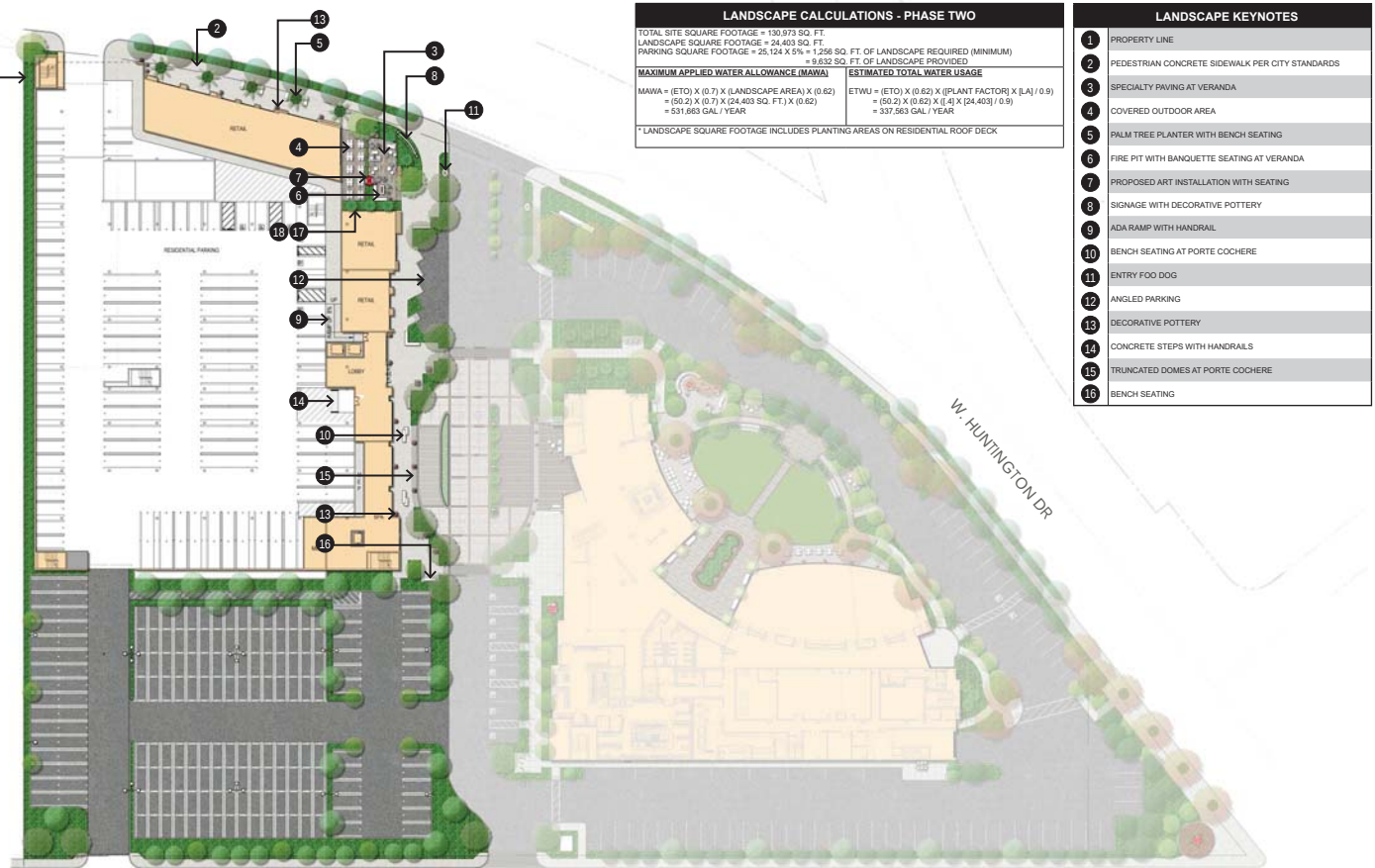


PHASE 1 - LEVEL 1
LANDSCAPE PLANTING PLAN

SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

04/19/2019
06/13/2018
05/03/2018





LANDSCAPE CALCULATIONS - PHASE TWO	
TOTAL SITE SQUARE FOOTAGE = 130,973 SQ. FT.	
LANDSCAPE SQUARE FOOTAGE = 24,403 SQ. FT.	
PARKING SQUARE FOOTAGE = 25,124 X 5% = 1,256 SQ. FT. OF LANDSCAPE REQUIRED (MINIMUM)	
= 9,632 SQ. FT. OF LANDSCAPE PROVIDED	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	ESTIMATED TOTAL WATER USAGE
MAWA = (ETO) X (0.7) X (LANDSCAPE AREA) X (0.62)	ETWU = (ETO) X (0.62) X (PLANT FACTOR) X (LA) / (0.9)
= (50.2) X (0.7) X (24,403 SQ. FT.) X (0.62)	= (50.2) X (0.62) X (1.4) X (24,403) / (0.9)
= 531,863 GAL / YEAR	= 337,563 GAL / YEAR
* LANDSCAPE SQUARE FOOTAGE INCLUDES PLANTING AREAS ON RESIDENTIAL ROOF DECK	

LANDSCAPE KEYNOTES	
1	PROPERTY LINE
2	PEDESTRIAN CONCRETE SIDEWALK PER CITY STANDARDS
3	SPECIALTY PAVING AT VERANDA
4	COVERED OUTDOOR AREA
5	PALM TREE PLANTER WITH BENCH SEATING
6	FIRE PIT WITH BANQUETTE SEATING AT VERANDA
7	PROPOSED ART INSTALLATION WITH SEATING
8	SIGNAGE WITH DECORATIVE POTTERY
9	ADA RAMP WITH HANDRAIL
10	BENCH SEATING AT PORTE COCHERE
11	ENTRY FOO DOG
12	ANGLED PARKING
13	DECORATIVE POTTERY
14	CONCRETE STEPS WITH HANDRAILS
15	TRUNCATED DOMES AT PORTE COCHERE
16	BENCH SEATING



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

PHASE 2 - LEVEL 1
LANDSCAPE SITE PLAN

04/19/2019
06/13/2018
05/03/2018





04/19/2019
06/13/2018
05/03/2018

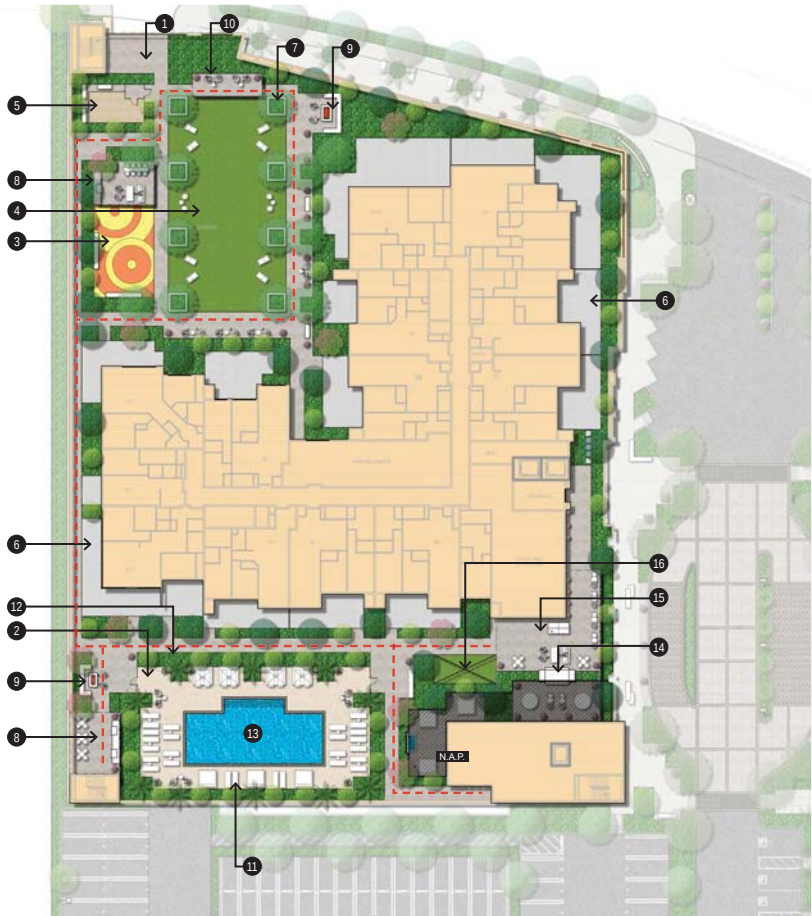
PHASE 2 - LEVEL 1
LANDSCAPE PLANTING PLAN

LANDSCAPE KEYNOTES

1	STANDARD PAVING
2	ENHANCED PAVING AT POOL DECK
3	KIDS PLAY AREA
4	ARTIFICIAL TURF
5	DOG RELIEF AREA WITH BENCH SEATING
6	RESIDENT PATIOS
7	PLANTING AREA WITH COBBLE AREA
8	COVERED BBQ AREA WITH SEATING
9	FIRE PIT WITH BANQUETTE SEATING
10	COVERED SEATING AREA
11	LOUNGE FURNITURE AT POOL DECK
12	POOL ENCLOSURE WITH ENTRY GATE
13	SWIMMING POOL
14	DOUBLE FIRE PLACE WITH LOUNGE SEATING
15	COVERED CLUBHOUSE PATIO
16	LAWN AREA WITH FESTOON LIGHTING

CIRCULATION LEGEND

---	RESIDENT WALKING PATH
-----	-----------------------



SCALE 1" = 40'

SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA

PHASE 2 - LEVEL 2
LANDSCAPE SITE PLAN

04/19/2019
06/13/2018
05/03/2018





PRELIMINARY TREE LEGEND - ROOF DECK			
SYMBOL	TYPE	BOTANICAL NAME (COMMON NAME)	SIZE
	PALM TREE	ARCHONTOPHOENIX CUNNINGHAMIANA (KING PALM) - MULTI-TRUNK PHOENIX DACTYLIFERA 'MEDJOL' (MEDJOL DATE PALM)	25'-30' BTH 20' - 25' BTH
	SPECIMEN TREE	CINNAMOMUM CAMPHORA (CAMPHOR TREE) MAGNOLIA GRANDIFLORA (SOUTHERN MAGNOLIA) MAGNOLIA GRANDIFLORA 'LITTLE GEM' (LITTLE GEM DWARF SOUTHERN MAGNOLIA) OLEA EUROPEA (OLIVE TREE) QUERCUS AGRIFOLIA (COAST LIVE OAK)	48' BOX 48' BOX 36' BOX 36' BOX 36' BOX
	MEDIUM EVERGREEN CANOPY TREE	CINNAMOMUM CAMPHORA (CAMPHOR TREE) TRISTANIA CONFERTA (BRISBANE BOX) ULMUS PARVIFOLIA (CHINESE ELM)	24' BOX 36' BOX 36' BOX
	SMALL EVERGREEN CANOPY TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM' (LITTLE GEM DWARF SOUTHERN MAGNOLIA) PRUNUS CAROLINIANA 'BRIGHT N TIGHT' (BRIGHT N TIGHT CAROLINA LAUREL) TRISTANIA CONFERTA (BRISBANE BOX)	24' BOX 24' BOX 24' BOX
	FLOWERING ACCENT TREE	ARBUTUS MARINUS (STRAWBERRY TREE) GERARDIA CANADENSIS 'FOREST PANSY' (FOREST PANSY REDBUD) LAGERSTROEMIA INDICA (CRAPE MYRTLE) ALOE BAIKESEI (TREE ALOE)	36' BOX 36' BOX 36' BOX 24' BOX
	ACCENT PALM TREES IN POTS	DRACENA DRACO (DRAGON TREE) HOWEA FORSTERIANA (KENTIA PALM)	24' BOX 24' BOX

NOTES:

1. ALL LANDSCAPE AREAS SHOWN SHALL BE PRIVATELY MAINTAINED.
2. ALL LANDSCAPE AREAS TO BE AUTOMATICALLY IRRIGATED WITH A LOW-FLOW DRIP SYSTEM.
3. ALL LANDSCAPE AREAS ON PODIUM TO RECEIVE LIGHT WEIGHT SOIL.
4. LANDSCAPE PLANS SHALL COMPLY WITH THE CITY OF ARCADIA MUNICIPAL CODE AND WATER EFFICIENT LANDSCAPE STANDARDS.

PRELIMINARY SHRUB LEGEND - ROOF DECK		
SYMBOL	BOTANICAL NAME (COMMON NAME)	BOTANICAL NAME (COMMON NAME)
	AGAVE X ATTENYATA 'BLUE FLAME' (BLUE FLAME AGAVE) BOUGAINVILLEA SPECIES 'OO LA LA' (OO LA LA BOUGAINVILLEA) BUXUS MICROPHYLLA (JAPANESE BOXWOOD) CALLISTEMON CITRINUS 'LITTLE JOHN' (DWARF BOTTLE BRUSH) DIANELLA TASMANICA 'VARIEGATA' (FLAX LILY) DICHONDRA REPENS (MERCURY BAY WEEB) HELIOTROPICUM SEMPERVIRENS (BLUE OAT GRASS) HEMEROCALLIS X 'BETTY WOODS' (BETTY WOODS DAY LILY) LIGUSTRUM JAPONICUM 'TEXANUM' (TEXAS PRIVET) LIRIOPE MUSCARI 'SILVERLY SUNPROOF' (DWARF VARIEGATED LIRIOPE)	MYOPORUM PARVIFOLIUM 'PINK' (TRAILING MYOPORUM) PELARGONIUM PELTATUM 'LAVANDER' (LAVANDER IVY GERANIUM) PHOENIX ROSEBENI (PYGMY DATE PALM) - MULTI-TRUNK PHORMIUM TENAX (NEW ZEALAND FLAX) PITTOSPORUM TOBIRA 'SHIMA' (CREME DE MINT DWARF MICK ORANGE) RHAPHIOLEPIS INDICA (INDIAN HAWTHORNE) ROSMARINUS OFFICINALIS 'PROSTRATUS' (DWARF ROSEMARY) TRACHELOSPERMUM JASMINOIDES (STAR JASMINE) WESTRINGIA FRUTICOSA (COAST ROSEMARY)



SCALE 1" = 40'

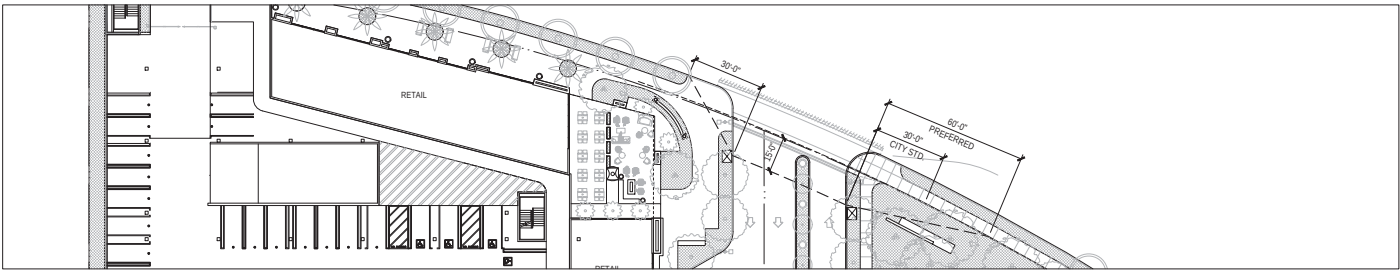


SEABISCUIT PACIFICA SPECIFIC PLAN ARCADIA, CA

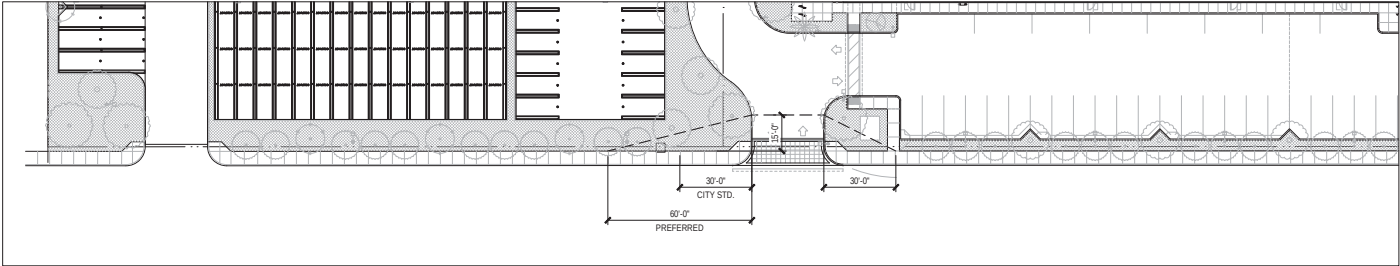
PHASE 2 - LEVEL 2 LANDSCAPE PLANTING PLAN

04/19/2019
06/13/2018
05/03/2018





VEHICULAR VIEW TRIANGLE @ W HUNTINGTON DR



VEHICULAR VIEW TRIANGLE @ E HUNTINGTON DR



SEABISCUIT PACIFICA SPECIFIC PLAN
ARCADIA, CA



VEHICULAR VISIBILITY
EXHIBIT

04/19/2019
06/13/2018
05/03/2018

